



Agenda
Special Planning Commission Meeting
7:00 P.M. on Monday, February 11, 2008
Clayton Community Library Meeting Room
6125 Clayton Road, Clayton
Please note alternate meeting date

CALL TO ORDER, ROLL CALL, PLEDGE TO THE FLAG

Administrative

- 1A. Review of agenda items
- 1B. Vice Chair Catalano to report at the February 19, 2008 City Council meeting

Public Comment

Approval of Minutes

- 2. Approval of minutes from the regular meeting of January 22, 2008

Public Hearings

- 3A. **GPA 01-07, Town Center General Plan Update, City of Clayton.** An amendment of the *General Plan* Land Use Element, Circulation Element, and Community Design Element to make additions, revisions, and deletions of various goals, policies, objectives, standards, permitted uses, guidelines, text, and figures regarding development in the Town Center as well as other miscellaneous minor revisions and updates. *Continued from the meeting of January 22, 2008.*
Proposed Action: No action proposed; continue to the regular meeting on February 26, 2008.
- 3B. **SPA 01-07, Town Center Specific Plan Update, City of Clayton.** An amendment of the *Town Center Specific Plan* including, but not limited to, Chapters 1 (Introduction), 3 (Municipal Services), 4 (Urban Design), 5 (Circulation), and 6 (Financial Implementation) to make additions, revisions, and deletions of various goals, policies, objectives, standards, permitted uses, guidelines, text, and figures. *Continued from the meeting of January 22, 2008.*
Proposed Action: Review Chapter 4 (Urban Design) and Chapter 5 (Circulation) and provide direction to staff; continue to the regular meeting on February 26, 2008.

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Old Business

4. None

New Business

5. None

Communications

- 6A. Staff
6B. Commission

Adjournment

7. The next meeting of the Planning Commission is scheduled for **Tuesday, February 26, 2008.**

Most Planning Commission decisions are appealable to the City Council within ten (10) calendar days of the decision. Please contact Community Development Department staff for further information immediately following the decision. If the decision is appealed, the City Council will hold a public hearing and make a final decision. If you challenge a final decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing(s), either in oral testimony at the hearing(s) or in written correspondence delivered to the Community Development Department at or prior to the public hearing(s). Further, any court challenge must be made within 90 days of the final decision on the noticed matter. If you have a physical impairment that requires special accommodations to participate, please contact the Community Development Department at least 72 hours in advance of the meeting at 925-673-7340.

An affirmative vote of the Planning Commission is required for approval. A tie vote (e.g., 2-2) is considered a denial. Therefore, applicants may wish to request a continuance to a later Commission meeting if only four Planning Commissioners are present.

Minutes
City of Clayton Planning Commission Meeting
Tuesday, January 22, 2008

Call to Order

Chair Haydon called the meeting to order at 7:00 p.m. at the Library Meeting Room, Clayton Community Library, 6125 Clayton Road, Clayton.

Present: Chair Keith Haydon, Vice Chair Tuija Catalano, Commissioner Bob Armstrong, Commissioner Ed Hartley, Commissioner Joe Odrzywolski

Absent: None

Staff: Community Development Director Jeremy Graves

Administrative

1A. Review of agenda items

1B. Commissioner Armstrong to report at the February 5, 2008 City Council meeting

Public Comment

None

Approval of Minutes

2. Approval of minutes from the regular meeting of January 8, 2008

Vice Chair Catalano moved and Commissioner Hartley seconded a motion to approve the minutes from the meeting of December 11, 2007, with corrections. The motion passed 3-0.

Public Hearings

3A. **GPA 01-07, Town Center General Plan Update, City of Clayton.** An amendment of the *General Plan* Land Use Element, Circulation Element, and Community Design Element to make additions, revisions, and deletions of various goals, policies, objectives, standards, permitted uses, guidelines, text, and figures regarding development in the Town Center as well as other miscellaneous minor revisions and updates. *Continued from the meeting of January 8, 2008.*

3B. **SPA 01-07, Town Center Specific Plan Update, City of Clayton.** An amendment of the *Town Center Specific Plan* including, but not limited to, Chapters 1 (Introduction), 3 (Municipal Services), 4 (Urban Design), 5 (Circulation), and 6 (Financial Implementation) to make additions, revisions, and deletions of various goals, policies, objectives, standards, permitted uses, guidelines, text, and figures. *Continued from the meeting of January 8, 2008.*

The continued public hearings were re-opened. Director Graves presented the staff report. The public testimony period was opened. There were no comments.

Chair Haydon moved and Commissioner Armstrong seconded a motion to continue the public hearings for the Town Center General Plan Update GPA 01-07 and Town Center Specific Plan Update SPA 01-07 to the special meeting on February 11, 2008. The motion passed 5-0.

- 3C. **ZOA 01-07, Town Center Zoning Update, City of Clayton.** An amendment of the *Zoning Ordinance* including, but not limited to, revisions of the permitted uses in the Limited Commercial District (Chapter 17.24), Planned Development District (Chapter 17.28), and Professional Administrative Office District (Chapter 17.32); revisions of various requirements, standards, and findings for Use Permits (Chapter 17.60); establishment of various definitions (Chapter 17.04); as well as minor revisions of other sections regarding permitted uses and review procedures for uses in the Town Center. *Continued from the meeting of January 8, 2008.*

The continued public hearing was re-opened. Director Graves presented the staff report. The public testimony period was opened.

Commissioner Hartley indicated the following:

- Flexible standards should be used.
- The review and approval process should not be onerous or expensive.
- We should make sure the use permit process does not become too much of a burden.

Commissioner Odrzywolski indicated that this proposal may be trying to over-regulate the locations of businesses.

Chair Haydon indicated the following:

- We have to set the stage for the future for ensuring that ground-floor spaces are used by retailers.
- Having a full building is better than an empty building, even if the building is full of non-retailers.
- We should be concerned now about establishing regulations that can address the situation several years from now as new commercial projects are constructed and we want to prioritize retail tenants in ground-floor locations.
- These regulations will send a message to commercial property owners that we want retailers and restaurants in ground-floor locations.

Commissioner Armstrong moved and Commissioner Hartley seconded a motion to approve Resolution No. 02-08 which recommends City Council approval of the amendments of the *Zoning Ordinance*. The motion passed 5-0.

Old Business

4. None

New Business

5. Re-schedule Next Regular Planning Commission Meeting from February 12, 2008 (Lincoln Holiday) to February 11, 2008.

Chair Haydon moved and Commissioner Odrzywolski seconded a motion to re-schedule the next regular Planning Commission meeting from February 12, 2008 to February 11, 2008. The motion passed 5-0.

Communications

6A. Staff

Discussion regarding contract for retail revitalization program market analysis. Director Graves explained that the City Council had authorized the City Manager to retain Economic Development Systems to assist local property owners in recruiting retail businesses to the Town Center.

Robert Staehle gave an overview of the proposed retail/residential mixed use project on the City-owned parcels at the northwest corner of Oak Street and High Street. He noted that an expedited review process will be necessary.

6B. Commission – None

Adjournment

7. The meeting was adjourned at 9:15 p.m.

Submitted by
Jeremy Graves, AICP
Community Development Director

Approved by
Keith Haydon
Chair

Plng Comm 2007 Minutes 0122

PLANNING COMMISSION STAFF REPORT

Meeting Date: February 11, 2008

From: Jeremy Graves, Community Development Director

Subject: Town Center Specific Plan Update (SPA 01-07)



DISCUSSION

At the December 11, 2007 Planning Commission meeting, staff was directed to make several modifications of Chapter 4 (Urban Design) and Chapter 5 (Circulation) of the *Town Center Specific Plan (TCSP)*. Staff has completed those modifications and attached the revised chapters.

PUBLIC WORKSHOP ON TOWN CENTER CIRCULATION ISSUES

In September 2007, staff suggested that a mid-block "paseo" network could be established in the area bounded by Main Street, Marsh Creek Road, Center Street, and Oak Street (see **Exhibit**). The paseo would incorporate courtyards or pedestrian walkways connecting adjoining parcels. Retail shops, eating facilities, and commercial uses could face the paseo and use the paseo for pedestrian access. In addition, the paseo could serve to satisfy all or a portion of a development's open space requirement required by Planned Development District zoning regulations (if applicable).

To compliment the paseo network, portions of the public right-of-way along Diablo Street and Morris Street between Main Street and Center Street could be closed to through vehicular traffic and made available to the adjoining property owners for daily use for certain activities such as retail uses or dining purposes. The City could issue licenses or permits to authorize such uses, with stipulations to ensure permanent structures or vehicular parking are not installed. The location of any such uses would need to ensure that vehicular access to parking lots with restricted access is retained (e.g., Village Market access to Morris Street).

In order to obtain additional input from property owners, business owners, and residents on these possibilities, staff suggests the Commission consider the following actions.

- Scheduling a Planning Commission public workshop to discuss these modifications of Chapter 5 (Circulation) of the *TCSP*. Staff would provide an invitation announcement to the local media and property owners within 300 feet of the Town Center as well as business owners in the Town Center at least 10 days in advance of the workshop.
- Following the workshop staff would evaluate the concepts to determine the appropriate technical studies and/or level of environmental review.
- Draft Chapter 5 (Circulation) of the *TCSP* would be revised.
- A Planning Commission public hearing (with public re-notification) would be scheduled to consider the revised Chapter 5 (Circulation) of the *TCSP*.

RECOMMENDATION

Staff recommends that the Planning Commission take the following actions:

- Review Chapter 4 (Urban Design), make any appropriate modifications, and direct staff to prepare a resolution which recommends City Council approval of an amendment of Chapter 4 of the *TCSP*.

- Review Chapter 5 (Circulation), make any appropriate modifications, and schedule a public workshop on amending Chapter 5 to include a paseo network as well as partial closure of Morris Street and Diablo Street.
- Continue the public hearing on the Town Center Specific Plan update (SPA 01-07) to the next regularly-scheduled meeting on February 26, 2008.

EXHIBITS

Chapter 4 (Urban Design) - Clean Copy, dated December 12, 2007

Chapter 5 (Circulation) - Copy showing deleted text, dated December 12, 2007

Paseo Network, prepared September 21, 2007 (Figure)

SPA 2007-01-07-sr-11

CHAPTER 4. URBAN DESIGN

4.1 INTRODUCTION

[Insert sketch of Mt. Diablo]

Clayton Town Center's extraordinary natural setting, rich history and architectural heritage are a strong source of identity and value to the community. Citizens have strong feelings about preserving the Town Center's existing character while welcoming its expansion to provide needed commercial services and shopping. The purpose of this Urban Design chapter is to provide clear guidelines for the Town Center's future development pattern, architecture and landscape design, so that new development retains and strengthens the existing Town Center character.

(Amended by Resolution 65-98, dated 12/1/98)

All development proposals in the Specific Plan Planning Area are subject to design review by the City. The Design Guidelines in this chapter are the criteria used in the evaluation of development proposals. Developers and their designers are urged to carefully review the Design Guidelines as part of their site planning and building design process.

Design review is a comprehensive evaluation of those characteristics of a development which have an impact on neighboring properties and the community as a whole. The process makes a careful examination of a project's creativity, concept, and quality of site planning, architecture, landscape design, and important details such as signage and lighting. The purpose is to insure that every new development or additions to existing development carefully consider the community context in which they take place. Every project should make a conscientious effort to develop a compatible relationship to the natural setting, neighboring properties, and community design goals.



4.2 KEY DESIGN ELEMENTS OF TOWN CENTER

The Town Center has a unique western character that results from the relationship between its natural setting, grid street pattern, and old west architecture. These elements work together to create a distinct town “image.”

Clayton’s Town Center began with a few houses and stores built along the small grid of streets laid out by Joel Clayton in 1857. He envisioned a prosperous community at the foot of Mt. Diablo, in an area of great beauty and agricultural wealth, central to the surrounding mines. As the town grew, miners came to enjoy the social clubs, saloons, and stores. Clayton’s boom ended when competition from mines in Oregon and Washington and the increased costs and difficulty of mining proved too great. Farmers growing grapes, wheat and other crops sustained Clayton’s economy, but it never again flourished as it had during the mining boom. Clayton remained a small and reasonably stable agricultural community. From that time to the present it has retained much the same character. A handful of buildings remain to continue its tradition as a western town.

Main Street, with the Clayton Historical Museum (the former Clayton-Pape House) and the Clayton Club as well as Center Street with the re-furbished and expanded Endeavor Hall serve as sentinels of the Town Center. These buildings exhibit the different ages, styles, and cultural mix that accompanied settlement and growth in Clayton.

NATURAL SETTING

Clayton’s surrounding landscape forms one of the most spectacular natural settings in the San Francisco Bay region. The community is laid out in the Clayton Valley and nestled between the range formed by Mt. Diablo, Eagle Peak, Twin Peaks and Mt. Zion to the south, and Keller Ridge-Kirker Pass to the north-northeast. The Town Center has the distinct feel of a western town carefully placed in the valley, given strong natural definition by both foreground and distant hills. Views and outlooks to the neighboring peaks and ridges bring perception of the surrounding rugged landscape directly into the Town Center.

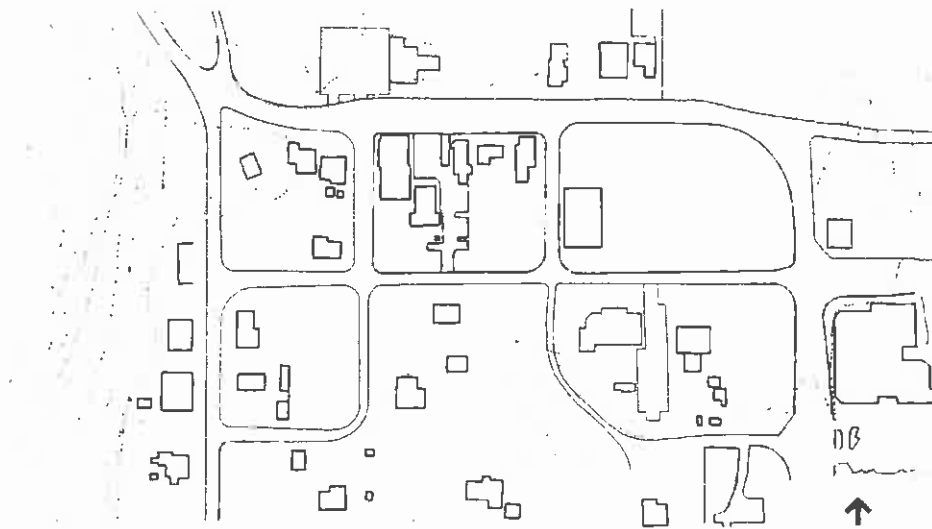
One of the most dramatic features of the Town Center is its western entrance from Clayton Road. The combination of the abrupt descent and dense tree cover creates a strong sense of entering a special world separated from the surrounding suburban landscape. Other strong natural boundaries on the north and south give the Town Center clear definition along three of its four edges. Although the Town Center’s topography is relatively level, the subtle elevation changes within the setting are important:

- The Mitchell Creek and Diablo Creek embankments;
- The gentle knoll east of and above Diablo Creek; and
- The knoll south of Center Street, between Diablo and Morris Streets.

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TOWN CENTER STREET GRID

The existing Town Center's street grid forms small blocks that range from 200 to 350 feet on a side. The grid contrasts with the curved patterns of rural roads and residential subdivisions of the Clayton area, and helps distinguish the Town Center from neighboring districts. The small block pattern gives the Town Center an intimate scale that pedestrians appreciate, and creates an extra number of corner buildings and sites with high visibility. Occasionally, the street grid is interrupted by topographical features, as the hill south of Center and Morris Streets, increasing one's awareness of the natural setting.

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HISTORIC BUILDINGS AND STRUCTURES

The Town Center's history is recorded in the few remaining structures built before the turn of the 20th century. New development should recognize, respect, preserve, and be compatible with the historic buildings and mature plantings in the existing Town Center. A building exhibiting historic character from the period in which it was built can substantially contribute to the character of a new development. The following buildings in the Town Center have been recognized for their historical status:

- The DeMartini Winery (City Hall) is listed on the National Register of Historic Places;
- Endeavor Hall received a Governor's Historic Preservation Award; and
- Keller Ranch House is listed on the California Register of Historical Resources

Other buildings and sites in the Town Center may have historic or architectural significance to the City, County, or state.

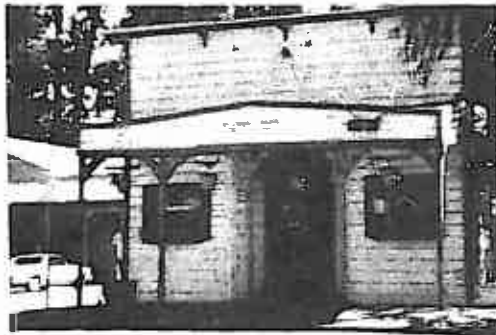


BUILDING-STREET EDGES

The older buildings of the Town Center form three *desirable* relationships of buildings to streets:

- Building with a front porch located at the sidewalk (Clayton Club);
- Courtyard or patio between the building and street (Clayton Historical Society Museum, restaurant on Main Street); and
- Building located on the front property line (commercial building at Main and Diablo Streets).

Each of these examples creates a strong pedestrian connection between building fronts and streets common to older downtowns.



Building with Front Porch



Front Courtyard on Main Street

COURTYARDS AND OPEN SPACES

The quilt-like pattern of alternating buildings and courtyards, organized by the grid of streets and individual lot lines, creates a spaciousness throughout the Town Center and allows through-block outlooks to the surrounding natural landscape. Mature trees define and shade the open spaces, creating a dense canopy over most of the setting, further emphasizing its special character apart from the surrounding open valleys and hills.

ARCHITECTURE

The Town Center's modest wood frame buildings develop a local vernacular with a genuine sense of antiquity and history. Horizontal wood siding, foundations of local stone, and other natural materials are combined in carpenter-built small structures with moderate-to-steep pitched roofs, frequent emphasis of porches and other protected outdoor spaces, roof overhangs and eaves, and orderly use of window openings. Several styles can be found ranging from the western false front of the Clayton Club to the rural vernacular of the Clayton-Pape House and Endeavor Hall. Many of the details recall "Craftsman," "Victorian," and other styles.

4.3 GOALS AND POLICIES

Goal I **Establish an attractive and vibrant Town Center with buildings, public spaces, and amenities designed to incorporate architectural and cultural features reminiscent of from Clayton's history.**

Policy I-1 *Maintain consistent design standards for street and sidewalk spaces throughout the Town Center. Sidewalk paving, curbs, street tree planting, and street furniture should be carefully coordinated and maintained as integrating visual elements.*

Policy I-2 *Maintain strong architectural standards to develop continuity between old and new buildings in the Town Center.*

Goal II **Emphasize the Town Center as the focus of community life in Clayton, integrating civic, cultural, shopping, residential, and recreational functions into a multi-use district.**

Policy II-1 *Create public places in the Town Center where residents can meet informally.*

Policy II-2 *Emphasize "The Grove" as a focus for civic and community events as well as a destination for residents and visitors.*

Policy II-3 *Emphasize the Town Center's character as a place for pedestrian enjoyment, following the traditional building-to-street relationship of older downtowns. Buildings should be located at the front of properties near the sidewalk, with active, well-scaled frontages that create pedestrian interest. Parking lots should be located to the rear of buildings, well-planted and screened from street view.*

Goal III **Maintain sites in the Town Center containing buildings and structures of local historical significance.**

Policy III-1 Consider national and state historic designations for qualifying sites and buildings.

Policy III-2 Adopt a City historic preservation ordinance which includes provisions for conservation easements on historic buildings.

Policy III-3 Preserve the DeMartini Winery (City Hall,) Keller Ranch House, Endeavor Hall, Clayton-Pape House (Historical Society Museum) buildings.

Goal IV Integrate and maintain the Town Center's natural creeks, mature native trees, and landscape features into new development as a means to provide open space.

Policy IV-1 Preserve Mitchell Creek and Diablo Creek in their natural settings as important features and open space amenities of the Town Center.

Policy IV-2 Implement strong design standards to retain existing healthy, mature native trees and other natural features in new development.

Policy IV-3 Provide and maintain direct pedestrian linkages between the Town Center and the regional trail system.

Policy IV-4 Retain and promote the Town Center's existing opportunities for outlooks to the surrounding foothills by requiring courtyards or other open spaces in each new development.

Goal V Create and maintain a compact downtown setting which emphasizes a high-quality pedestrian experience.

Policy V-1 Promote site and architectural designs which are pedestrian friendly and enhance the pedestrian experience.

Policy V-2 Encourage development of multiple-story buildings with retail stores and eateries, as well as upper-floor residential units.

Policy V-3 Apply the Design Guidelines in the design review of all new development proposals and additions to or alteration of existing structures.

Goal VI Encourage the development of physical elements which enhance from the Town Center's downtown character.

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Policy IV-1 Require underground utilities in all new development.

Policy IV-2 Maintain strong controls on commercial signage, including illuminated signs.

Policy IV-3 Maintain strong standards on the location of parking lots, service areas, dumpsters, and mechanical equipment.

4.4 DESIGN GUIDELINES

These design guidelines are intended to be more than suggestions, but less than absolute requirements. This approach allows for some creativity and flexibility in meeting the intent of the guidelines.

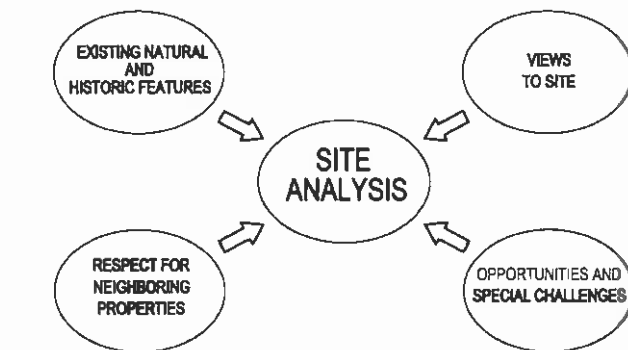
Recognizing that the guidelines offer a variety of ways to meet Town Center design objectives, the Planning Commission and the City Council have final authority to approve or deny a building design or proposed use based on whether the project as proposed meets these design guidelines.

4.4.1 SITE DESIGN

The quality of site design is the most important measure of a project's impact on the community and will be given first priority in the review of development proposals. Projects should demonstrate sensitivity to both the natural setting and to the neighborhood context. A project should also contribute to the *Specific Plan's* urban design goals and policies.

SITE ANALYSIS

Each development proposal should include a thorough analysis of existing conditions on and adjacent to the site. A proper analysis will include a careful examination of a site's physical properties, amenities, special challenges, constraints, and character, and an examination of the neighboring environment. The analysis will assist the developer in evaluating the proposed development's relationship to existing conditions, neighboring properties, and the community at large.



Site Analysis Considerations

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- Basic Site Data: boundaries and dimensions; location of adjacent streets, sidewalks, and rights-of-way; location of setback lines and easements; and existing structures and other built improvements.
- Existing Natural Features: location, size, and species of trees and other important vegetation; topography, with areas of slope over 25% highlighted; patterns of surface drainage; location of flood plain; soil capability; and other important features that are either amenities or potential hazards in development.
- Neighboring Environment: views to and from the site; land use and site organization of neighboring properties; form and character of neighboring buildings; and important site details on neighboring properties which can be seen from the street.

GENERAL SITE DESIGN CRITERIA

- Demonstrate an overall design integrity and a serious effort to contribute to the beauty and harmony of the community.
- Develop compatible relationships to the land forms, building placement, and existing open spaces of neighboring properties.
- Respect the existing views, privacy, quiet, and sun and light exposure of neighboring properties.
- When conditions require a project to be different from its neighbors, provide a transition from existing to new development by careful placement and massing of buildings, well-designed planting patterns, and other means.
- Maintain vistas of surrounding hills and natural features.

PRESERVATION OF NATURAL FEATURES

Development proposals should demonstrate an effort to retain significant existing natural features characteristic of the community's landscape. Existing topography and land forms, drainage courses, vegetation, and views should be recorded in the Site Analysis and incorporated, to the maximum extent feasible, into the future development of the site.

MATURE TREES

- All mature healthy trees should be retained when feasible. This will require careful judgment weighing the value and hierarchy of all natural features, the size and species of the tree, and the proposed landscape plan for the site.
- Existing oaks over eight inches in diameter are considered significant resources which should be preserved.

TOPOGRAPHY

- Demonstrate an effort to minimize grading and alteration of natural landforms. Grading will be allowed to the extent necessary to fit the buildings into the natural land forms.
- Minimize potential problems created by building in areas of excessive slope, soil with poor bearing capacity, slide potential, flood plain, or other hazards.
- Building pads should retain natural contours as much as possible. Balancing of cut and fill areas is encouraged.

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DRAINAGE

- Minimize potential surface drainage problems on neighboring properties, and provide adequate drainage on-site for each parcel.
- Natural drainage courses are to be preserved as closely as possible to their natural location and appearance. "Dry stream" effects which move the water over the property should be used instead of channeling or undergrounding methods, unless no other alternative to channeling exists.

CULTURAL RESOURCES ASSESSMENT

- A cultural resources assessment shall be conducted by a qualified expert (approved by the Community Development Director) prior to development of every developed parcel which contains over 10,000 square feet of undeveloped area, as well as every vacant parcel.

(Added by Resolution No. 02-2007, dated 1-16-2007)

PRESERVATION OF HISTORIC BUILDINGS AND RESOURCES

- The following steps can be taken to determine if a building or site is eligible for a historical designation:
 - *Contact the Clayton Historical Society and local historical preservation organizations for information.*
 - *Research to establish the validity of the building or site's historic role.*
 - *Nominate the building or site for historic designation by the City, County, state, if it so merits.*
 - *Incorporate the historical resources on the site into any new development.*
- New buildings which are built on the same site as, or adjacent to, buildings of historic character, should be designed to be respectful of the older buildings. Without mimicking the older buildings, new structures should consider the compatibility of details, materials, textures, colors, and landscape features.
- New buildings or building additions must demonstrate, to the satisfaction of the City, that impacts on adjacent historic structures have been mitigated.
- The State of California Historic Building Code should be used in place of local building codes in the case of qualifying historic structures.

RELATIONSHIP TO EXISTING DEVELOPMENT

All development proposals should show evidence of harmony with neighboring properties through their site planning, arrangement of building forms, and landscape design. The degree to which neighboring properties and buildings must be considered in the design of a new project will depend on the value, architectural quality, and estimated tenure of improvements on the neighboring property, as well as the particular requirements of the new project.

Project plans should show important features of adjacent sites. Existing features should be shown in sufficient detail to enable evaluation of the relationship of the proposed development to its context. Eye level perspective photo-simulations or sketches of the proposed project and its immediate neighbors, as seen from the street, sidewalk, or other public place are encouraged.

- The site organization should compliment the arrangement of buildings, open spaces, and landscape patterns on adjacent properties. When possible, buildings should be located for mutual advantage of shared open spaces, sunlight, circulation, parking, and views. Landscape features on adjacent properties should be compatible.
- When feasible, new development should be linked to adjacent properties by common circulation areas for pedestrians and vehicles. The method of shared circulation, parking, or walkways will vary depending on the specific site conditions. When no development exists

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on adjacent properties, give consideration to how the sites can develop common circulation linkages in the future.

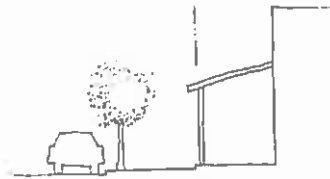
- New buildings and additions should be designed to respect the scale, in height and width, of surrounding buildings.
- Buildings of different size, form and materials can relate to each other through the use of common proportions, window and story heights, belt courses, porches, building bases, and other elements in a pattern that relates to neighboring buildings.

INTERNAL SITE DESIGN

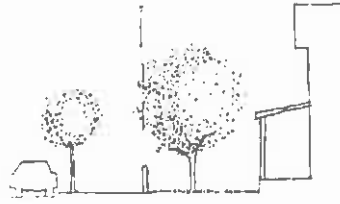
- Buildings and open spaces should be organized to take advantage of the spaces between buildings as opportunities for outdoor activities, as transitions between indoors and outdoors, and as potential points of “focus” on the site.
- Buildings and building groups should form compact clusters to economize in the use of land and create larger open spaces on the site.
- Pedestrian circulation should be designed to enable convenient and attractive access from parking areas to destinations.
- The site plan and landscaping plan should consider climatic conditions to provide shade from summer sun, natural ventilation, and other measures to maximize energy efficiency and human comfort.

4.4.2 BUILDING-STREET EDGE

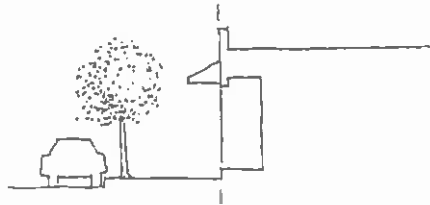
The *building-street edge* relationship is the most important consideration in planning a building site. In order to achieve the Specific Plan’s objective of creating a high-quality pedestrian environment, buildings should be located close to the front property line and sidewalk, with frontages designed to maximize pedestrian interest. The intent is to follow traditional patterns of the Town Center layout, developing a consistency between the new and older parts of the Town Center. The following *building-street edges* are desired:



- Continuous building edge with continuous porch along the sidewalk.



- Yard or courtyard fronting the street. A low wall or decorative fence may be used to define the front property line, or the yard may be open to the sidewalk with a pedestrian area between the sidewalk and building. The pedestrian area could develop into small courtyards with planting and benches.



- Building entrance and building wall built up to the front property line.
- Buildings should work within this vocabulary of street setback patterns. Building location and plan form should strive for a compatibility of setback pattern on each block.
- Every building should have a street-facing entrance. If a side or rear entrance is used, it should be accompanied by a street-facing entrance.
- Prohibit parking between the front elevation of the building and the street. Avoid placing of shrubs or other plants that create a visual barrier between the building and street.
- Building fronts should be parallel to the street. Avoid buildings whose primary mass is sited at an oblique angle to the street.
- In buildings with retail space at the ground level, the vertical elevation of the ground level should be located as close as possible to the vertical elevation of the public sidewalk in front of the building. Avoid an elevated ground level that separates the building from the sidewalk. (This guideline is not applicable where there is a significant change in existing grade between the building and sidewalk, nor is it applicable when it is necessary to elevate the building ground level above a flood plane elevation.)

4.4.3 COURTYARDS

The existing pattern of informal courtyard spaces is an important part of the character of the Town Center that should be continued in new development. Courtyards provide spaces for

outdoor activities, shaded protection from the sun, and transitions from streets to the interiors of buildings.

The use of courtyards to save existing trees and other natural features is encouraged. The following courtyard characteristics are desirable:

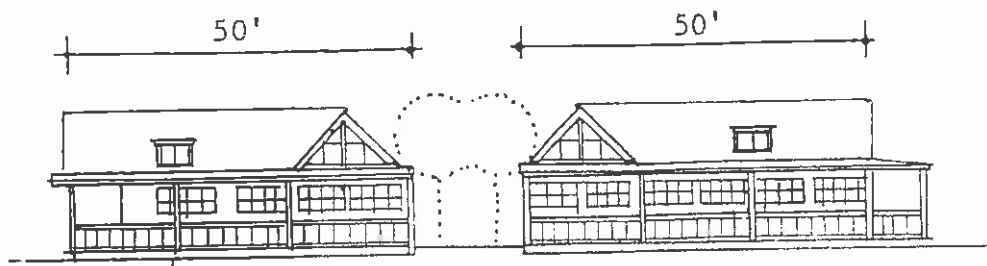
- When a front courtyard is used in a commercial building, it should maintain a strong pedestrian connection between the building and street.
- Front courtyards defined with low stone walls or low picket fences at the front property line are encouraged. A pedestrian entry to the building from the front sidewalk through the courtyard should be provided.
- The use of low planting beds, trees, low shrubs, flowers, and small lawn areas is encouraged.
- Trees should be scaled and located to provide shade for pedestrians and to create a canopy for the front sidewalk space.
- Shared or individual courtyards are encouraged to provide pedestrian connections from rear parking areas to the street frontage and building entrances.
- Arbor structures with vines and flowers (in courtyards and between buildings) are a good way to link buildings and define exterior spaces with planted canopies while newly planted trees mature.

4.4.4 ARCHITECTURAL CHARACTER

SIZE AND BULK

- New buildings in the Town Center are encouraged to have multi-story elements. This increase in development intensity will distinguish the retail and commercial nature of the Town Center from Clayton's residential neighborhoods.
- Building heights in the Town Center shall not exceed forty (40) feet.
(Amended by Resolution No. 02-2007, dated 1/16/2007)
- In order to continue the Town Center's detailed building scale and fine grain character, building widths of 50 feet or less on principal streets are encouraged. Buildings over 50 feet in width are permitted if function necessitates, but in such instances should be limited to 200 feet along a public street. Aggregation of several shop frontages into a single building is permitted with enhanced articulation and variety in design to provide the appearance of individual frontages.

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- When a building width must be greater than 50 feet, its elevation must be divided into smaller parts by one or more of the following methods:
 - *A change of plane in the form of a projection or recess. A change of plane at the ground level should be accompanied by a change of plane at the eave or roof. The change of plane must be at least 5 feet in depth.*

[Insert figure of building with projections and recessesxxx.]

- *Clearly-articulated storefront bays of 30 feet width or less, with exact bay dimensions determined by carefully-studied proportions.*
- *Differing designs and/or building materials to provide the appearance of individual storefronts.*



ROOF FORMS

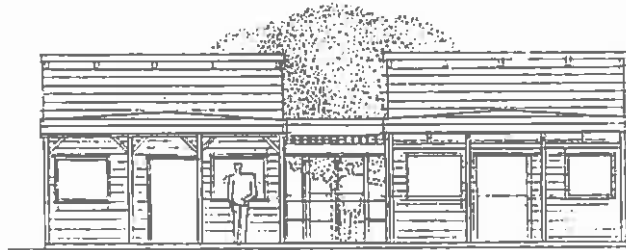
- Medium- to steep-gabled roof forms at pitches of 5:12 to 12:12 are encouraged, as is occasional use of dormers and shed roofs to add detail and scale. Roof pitches may be less in the case of large buildings.
- False fronts on single-story elements of buildings are allowed. [Question for P/C: Should false fronts also be allowed on multi-story buildings?]
- Gabled roofs should have a small overhang at both eaves and rakes. Eaves usually have a fascia board that covers the ends of the roof joists. Rakes have a trim board that covers the last roof joist. The overhanging rake may be supported by beam extensions and a variety of brackets to give additional detail where the wall meets the roof.

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- Avoid flat roofs that require built-up roofing materials, except in areas which are fully screened by facades or sloped roofs.
- Rooftop mechanical equipment should be avoided, except when no other feasible solution exists. When such equipment must be used, it should be minimized and fully screened from view from streets, adjacent properties, and pedestrian-oriented areas.

PORCHES

- The frequent use of porches is an important characteristic of older buildings in the Town Center. A porch is a sheltered entrance and may be open or closed to make an outdoor room or other protected space. Porches are encouraged as a means of providing transitions between indoors and outdoors. They add visual interest to a building by providing shade, shadow, and a sense of depth. A porch can give a building its character and may often be the dominant element of a building elevation.



BUILDING BASES

- Buildings should meet the ground with a base relating to human size, or a detail that articulates the building from the ground plane. A base of ground-related material, such as exposed stone facing, is encouraged.



Keller Ranch House

WINDOW OPENINGS

- Except at shopfront locations, the area of solid building wall should be greater than the area of window openings. Small window openings, or grouped windows, are preferred over larger openings.
- Large glazed areas should be avoided. When storefront windows are used, they should be divided by mullions into smaller elements, preferably less than 25 square feet each. Muntins are encouraged to further divide the window into smaller panes.
- Windows should be recessed to produce strong shadow lines.
- Two-story buildings should avoid vertical windows over a single story in height. Window openings less than six feet in vertical dimension are preferred.

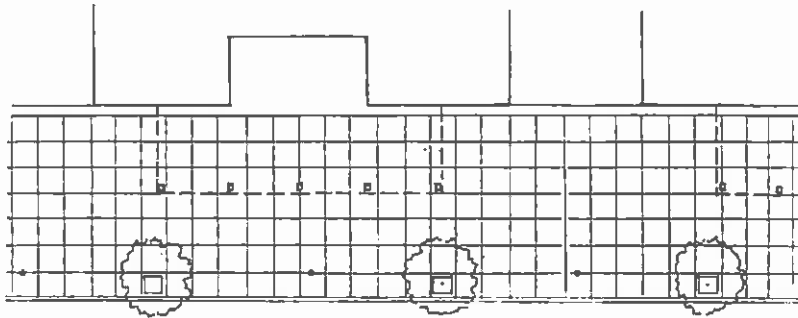
SCALE, PROPORTION, AND RHYTHM

- Scale describes a relationship of building parts to human size, to other building parts, or to a group of buildings.
 - *Porches, dormers, recessed entrances, and eaves are encouraged to scale parts of the building to human size.*

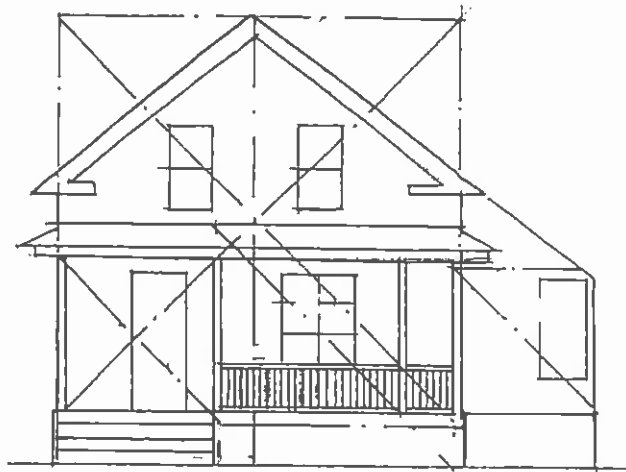


- *Along street frontages and in yards and courtyards, building elements at ground level should be kept to human size with relatively small parts. Exposed wood beams, columns, porches, exterior stairs, railings, trim, and other details are encouraged.*

- *Walkways and other paved areas near buildings should be divided into smaller parts. Paved areas should be interspersed with trees or other planting.*

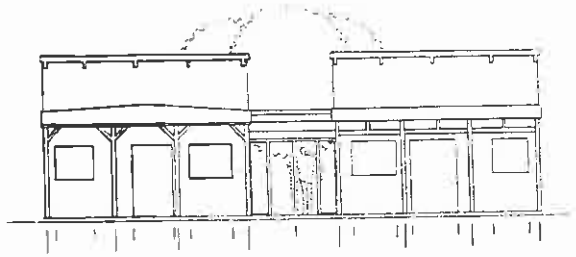


- Proportion is tied to scale. It describes divisional relations of line, area, and volume.
 - *Building facades should have a carefully-studied, pleasing, proportional relationship of width to height.*
 - *Building parts, recesses, window and door openings, and details should relate to an overall system of proportions within the facade.*



Clayton-Pape House – 6101 Main Street

- The use of rhythm as an ingredient of composition is tied to the careful use of repetitive spatial or structural parts to give an underlying order. This order can then be interrupted or varied. It is helpful to have some basic order of repetitive parts be apparent, though subtle, so that significant variations have importance.



- Patterns of light and shadow give buildings depth and substance. Offsets, projections, overhangs, and recesses all may be used to produce effective shadow interest areas. Long unbroken expanses of wall or facade should be avoided along street frontages and corners.

BUILDING MATERIALS, TEXTURE, AND COLOR

Color selection should show evidence of coordination with the predominant colors on neighboring buildings.

Encouraged Materials

- Exterior walls
 - *Stone or stone veneer*
 - *Brick or brick veneer*
 - *Natural stone or brick facing (or approved equivalent) at foundations*
 - *Horizontal wood siding*
- Roofs
 - *Composition shingles (with heavy butts) in earth-tone colors*
 - *Wood shingles, if treated for fire resistance*
 - *Concrete shingles of earth-tone color*
 - *Metal ribbed roofing (weathered metals and earth-tone colors preferred)*
- Details
 - *Painted or stained timber beams and columns*

Deleted: *Avoid bright colors or highly reflective surfaces*

Acceptable Materials

- Exterior Walls
 - *Stucco with smooth finish on side and rear facades*
 - *Wood shingles*
 - *Vertical wood siding*

Deleted: *cement plaster*

Deleted: *Horizontal wood siding or*

- Roofs
 - *Clay roof tiles in earth-tone colors*

Un-Acceptable Materials

- Exterior Walls
 - *Exposed concrete masonry, including split-face block*
 - *Stucco with skip-trowel finish*
 - *Glass covering more than 30% of a building's exterior surface area*
 - *Glass curtain walls*
 - *High contrast or brightly colored exterior wall material*
 - *Highly reflective or mirrored glass*
- Roofs
 - *High contrast or bright colors*
 - *Galvanized sheet metal*
 - *Built-up roofing, except for small areas*
 - *Highly reflective or shiny materials*

PAVING MATERIALS FOR PEDESTRIAN AREAS AND WALKWAYS

Encouraged Materials

- *Concrete with textured finish matching the wood board-stamped finish used on the public sidewalks*
- *Tile, earth-tones with non-slip surfaces*
- *Crushed granite and earth-tone gravel*

Discouraged Materials

- *Asphalt in areas adjacent to public streets and other high visibility areas. Asphalt is permitted in rear walkways solely leading to service areas.*
- *Brightly-colored tiles*
- *Materials with a hazardous surface when wet, or materials which act as an impediment to handicapped persons*

WALLS AND FENCES

- Walls and fences should be designed to be compatible with the surrounding landscape and architectural character of the building.
- Solid walls on primary elevations abutting public streets and sidewalks should be limited to three feet in height. Solid walls in other locations may be higher and should be accompanied by a minimum 24-inch planted edge on each side, except on the interior of service areas.
- Masonry walls should be capped with trim caps.

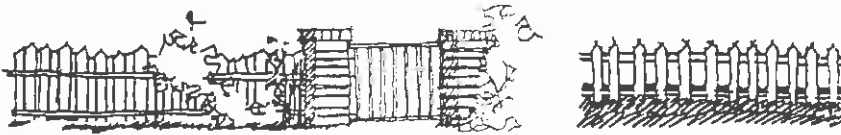
Encouraged Materials

- *Stone and stone veneer*
- *Wood picket, rail, or split-rail fences*

Stone Wall



Traditional Wood Picket Fence



Horizontal Rail Fencing Painted to Match Trim of Main Building



Acceptable Materials

- Common brick and brick veneer
- Cement plaster with smooth finish over concrete masonry units
- Wood fences with historical or western character
- Precast concrete with stone facing

Deleted: wood frame or

Unacceptable Materials

- Chain link or open wire
- Corrugated metal
- Cement plaster over wood frame - Plastic or thin wood lath
- Bamboo or grass reed

Deleted: Brightly colored plastic

ACCESSORY STRUCTURES

All accessory structures should be designed to reflect the scale and style of the architecture of the principal building. Arbors, storage spaces, and other ancillary structures should be located and designed to respect the views and other special conditions of adjacent properties.

4.4.5 LANDSCAPE CHARACTER

The landscape concept is to continue the spirit and atmosphere of the old Town Center, while allowing for some influence of contemporary landscaping ideas. The plants and landscape patterns recommended are conservative in nature, in order to maintain the continuity and tradition of the old part of the Town Center.

- Existing trees should be preserved when possible. Site plans must demonstrate that a diligent effort has been made to retain important existing natural features.
- Plant selection should recognize the importance of water conservation and emphasize plant species that require low water use.
 - *Large expanses of turf grasses are discouraged, except in parks or other active areas.*
- All site areas not used for buildings, pedestrian areas, parking, or other designated functions shall be planted. *[Note to P.C: The following sentence was recommended for deletion by the Commission. Staff recommends retaining decomposed granite as an option since it is a porous paving material and allows percolation of rain water. Please advise.]* Decomposed granite is an acceptable substitute to ground cover on level ground.
 - *Bare ground is not allowed since it creates dust in the summer and mud in the winter.*
- All landscaped areas should have an automatic underground irrigation system.
- Trees should be selected for size and form, in relation to other nearby trees and buildings.

Deleted: See Appendix B, "Plant Selection Guide" for an extensive plant list

MINIMUM PLANTING REQUIREMENTS

The following minimum area planting requirements shall be observed. Existing trees and shrubs that are retained may count toward planting requirements. New planting requirements may be further adjusted to reflect the size and density of existing trees and shrubs.

LANDSCAPED OPEN SPACE

- At least twenty (20) percent of each site of one acre or more must be landscaped open space. Sites less than one acre must provide at least ten (10) percent landscaped open space.

(Amended by Resolution No. 02-2007, dated 1/16/2007)

- *Paved pedestrian areas (e.g., sidewalks, patios, and courtyards) or balconies open to the public may be counted toward this requirement.*
- *Internal parking lot landscaped areas may not be counted toward this requirement.*
- All areas counted toward the landscaped open space requirement must provide the following:
 - *One tree per 300 square feet of the total required landscaped area. Trees shall be 24-inch box size, minimum.*
 - *Shrubs, ground cover, decomposed granite, or paved pedestrian areas must cover all remaining required landscaped open space.*

(Amended by Resolution No. 02-2007, dated 1/16/2007)

PARKING AREAS

- Parking Lot Perimeters
 - *Off-street parking lots should be visually screened from street view by planting or a combination of planting and low fences. A continuous screen at least 36 inches high should be formed by the wall or planting. If shrubs are used to create this screen, the shrubs should be a minimum of 36 inches in height after two years growth. Space shrubs*

in massed plantings so that branches intertwine after two years average growth. Open wood fences may be used, but only in combination with vegetation to fully screen the parking area from view.

- Planted perimeter areas must be at least five feet deep along public streets and interior property lines. Provide at least one tree (minimum 24-inch box size) per 150 square feet of perimeter area between the property line edge and the parking lot.
- Internal Parking Lot Planting
 - Off-street parking lots should include internal planting to develop tree canopies that soften the visual impact of the lots and provide relief from heat build-up. For all parking lots greater than 6,000 square feet, an internal area at least 10 percent of the total parking area should be planted with a combination of trees and shrubs. A minimum of one tree (minimum 24-inch box) for every three parking spaces must be evenly distributed throughout the parking lot with the purpose of providing shade coverage by tree canopies over fifty percent of the parking lot within fifteen years of building permit issuance. Trees planted in perimeter areas shall be credited toward this standard. [Note to P/C: The inserted wording is based upon wording provided by Commissioner Odrzywolski from the City of Los Banos.]

[Insert site plan of parking lot landscaping]



4.4.6 OFF-STREET PARKING AREAS

- A clear on-site circulation plan should be provided for automobiles, pedestrians, and service vehicles.
- Off-street parking should not be located in the front of a building or on the street-side of a building.
- Off-street parking should be located behind buildings. A less desirable solution, but acceptable when special conditions exist, is to locate the parking on the side of the buildings.
- Driveway access points should be located on streets to ensure safe access and allow smooth pedestrian flow. In order to enhance the pedestrian experience along the street frontages, the number of driveway openings to streets should be minimized. Driveways should be shared and designed to serve multiple properties to the maximum extent feasible in order to minimize the number of curb cuts on streets.

- Design pedestrian circulation to enable convenient and attractive access from parking areas to destinations.
- Existing mature trees should be retained and integrated into the layout of parking areas.
- Parking lots should be set back at least five feet from the face of a building.

4.4.7 SITE LIGHTING

GENERAL REQUIREMENTS

- The City's historical street light fixtures shall be used in all projects
- Limit the amount and intensity of lighting to that necessary for safety, security and to compliment architectural character. Lighting is not permitted which would spill onto—or interfere with the character of—the surrounding neighborhood.
- Lighting which is visible from adjacent properties or roads must be indirect or incorporate full shield cut-offs.
- Service area lighting should be designed to avoid spill-over into adjacent areas.

PARKING AREA LIGHTING

- For commercial parking areas, overhead lighting should be mounted at a maximum height of 15 feet above the paved surface.
- For residential parking areas, overhead lighting should be mounted at a maximum height of 10 feet. The placement of lighting in residential parking areas should avoid interference with bedroom windows.

WALKWAY, GARDEN, AND PEDESTRIAN AREA LIGHTING

- Overhead fixtures used for pedestrian areas should be limited to a height of 10 feet, with a minimum of 8 feet vertical clearance.
- Along walkways, low-level lighting fixtures mounted on short posts are encouraged. Shatterproof coverings are recommended. Posts should be located to avoid hazards for pedestrians or vehicles.

4.4.8 BUILDING EQUIPMENT AND SERVICES

- Carefully locate and design building equipment and services to minimize their visual impact on public streets and neighboring properties.
- Refuse and recycling containers as well as outdoor storage areas should be screened from view from public streets, pedestrian areas, and neighboring properties. The screening for refuse and recycling containers should be designed to be compatible with the architectural character of the development and be of durable materials.

- Utility meters, electrical transformers, fire shut-off valves, water risers, and other mechanical and electrical equipment should be located in service, loading, or screened areas. Exterior surface-mounted utility conduit and boxes should be kept to a minimum. Where they do exist, they should be designed, painted, or screened to blend in with the design of the building to which they are attached.
- Mechanical equipment, satellite dishes, communication devices, and other equipment should be fully concealed from view from streets, adjacent properties, and pedestrian-oriented areas.
- Where solar collectors or panels are attached to a building they should be integrated into the architectural design of the building or fully concealed from view from streets, adjacent properties, and pedestrian-oriented areas. Solar collectors or panels which are not attached to a building should be integrated into the landscape design by using berms, natural slopes, or similar devices. All plumbing and storage tanks associated with solar panels should be concealed from view from streets, adjacent properties, and pedestrian-oriented areas.
- Roof-mounted equipment is discouraged. When such equipment is necessary, it should be fully screened from view from streets, adjacent properties, and pedestrian-oriented areas. Special attention should be given to changes in elevation which may provide a view down to a roof. In such cases, the equipment should be enclosed in a screened shelter
- Screening devices (roof-top and at ground level) should include the following elements:
 - *Architectural screens should be an extension of the development's architectural character.*
 - *Screen walls should be constructed of low maintenance and durable materials which are consistent with the main building's materials.*
 - *Landscaping should be used in conjunction with building materials to complement ground level screening devices.*

4.4.9 SIGNS*

GENERAL DESIGN CRITERIA

- All signs should be a minimum size and height to adequately identify a business.
- Signage design should be carefully integrated with site and building design to create a unified appearance for the total property.
- Signs and illumination should be limited to no more than two opposing faces.
- Illumination should be projected onto the sign face. The light source should be fully shielded from view. Internally illuminated plastic signs are prohibited.

* Signs must also comply with the Sign Provisions (Chapter 15.08) of the Municipal Code.

- All signs and sign components should be limited to three colors in addition to black and white.
- Typefaces should be chosen for their simplicity and clarity. Signs on older buildings should use a typeface which was used in the period the building was built.
- Sign posts and other structural elements should be made of wood or metal with a white, earth-tone, black, or natural stain finish. Reflective or bright colors are not permitted.
- No sign, other than a sign installed by a public agency, should be placed in the public right-of-way on sidewalks or streets.
- Signs should be carefully located for safety so as not to block driveway views of oncoming traffic.
- No signs are allowed above the highest portion of the building.
- A master sign plan shall be designed for projects containing three or more business establishments.

RECOMMENDED SIGN TYPES

- **Awning Valance:** A sign or graphic attached to or printed on an awning's valance.
- **Monument:** A ground sign constructed upon a solid-appearing base or pedestal.
- **Kiosk:** A small freestanding structure which has three or more surfaces.
- **Projecting:** A sign extending from a building face or wall so that the sign face is perpendicular or at an angle to the building face or wall.
- **Suspended:** A sign attached to and located below any permanent eave, roof or canopy.
- **Wall:** A sign not exceeding six inches in thickness that is painted on, attached to, or erected against the wall of a building or structure with the exposed face of the sign parallel to the plane of the wall.
- **Window:** A sign displayed on window glass (including the glass of doors) or within three feet of a window designed to be viewed from the exterior of the window.
- **Pole Sign:** A type of ground sign mounted to or hanging from a pole or similar structure.

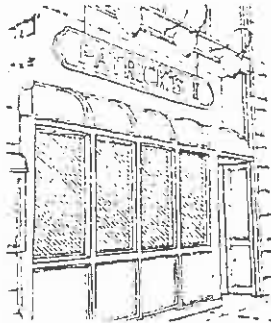
Sign Types



Awning Valance



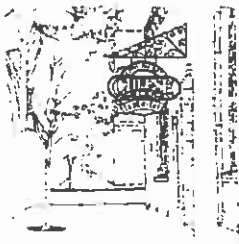
Monument



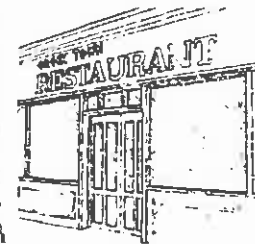
Suspended



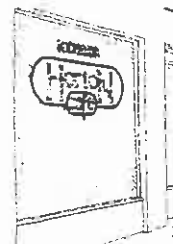
Kiosk



Projecting



Wall



Window



Pole

SIGN AREA AND NUMBER

MAXIMUM LETTER AND SYMBOL HEIGHT

- Eight inches on all sign types except wall and suspended signs, which may be twelve inches in height.
- Sign areas are limited and vary with sign types.
- To calculate the area of a sign, measure:
 - The area of the box or outline which contains the sign, or
 - In the case of unboxed letters or symbols, the area of the smallest rectangle which would enclose all of the letters or symbols.
 - Only one face of a double-faced sign with parallel opposing faces, and bearing identical copy, shall be used in calculating sign area.



Measure The Sign Box



Measure The Imaginary Box

SIGN AREAS ARE LIMITED AND VARY WITH SIGN TYPES.

Maximum permitted sign areas are:

- Awning Valance: 3 square feet.
- Monument: 12 square feet.
- Suspended and Wall: 12 square feet.
- Kiosk: 24 square feet (total of all faces).
- Projecting: 8 square feet.
- Window: 6 square feet (no larger than 25% of the window on which it is displayed).
- Pole: 6 square feet.

Sign area limits for large buildings may be considered on a case-by case basis.

PROPERTIES WITH MORE THAN ONE TENANT

The following number and area of signs are permitted:

- One sign to identify the complex, not to exceed the area limits previously listed, and
- One sign for each individual tenant, to a maximum of 10 square feet, but not to exceed the limits of any sign type listed previously, and
- Up to two building directory signs located at principal pedestrian entrances, each not to exceed 8 square feet.

SIGN HEIGHT LIMITS

The following sign height limits above grade are permitted:

- Awning Valance and Projecting: 10 feet (single-story building); 30 feet (multiple-story building).
- Monument: 3 feet.
- Suspended and Wall: 15 feet.
- Kiosk and Pole: 7 feet.

RESIDENTIAL SIGNS

- Multi-family residential properties of 12 or more units may have one sign of 10 square feet or less. Only monument and pole signs are permitted for residential use.

PROHIBITED SIGNS

The following signs are prohibited:

- Roof signs.
- Internally illuminated plastic signs. All plastic signs are strongly discouraged.
- Back-lighted signs which appear to be internally illuminated.
- Portable signs, except as allowed by the Sign Provisions in the *Municipal Code*.
- Signs which cover or interrupt architectural features.
- Off-site signs, except as allowed by the Sign Provisions in the *Municipal Code*.

CHAPTER 5. CIRCULATION

5.1 DESCRIPTION OF EXISTING CONDITIONS

LOCAL ROADWAYS

The streets within the Town Center form a grid extending two blocks south from Main Street to High Street, and three blocks east from Oak Street to Marsh Creek Road. Clayton Road, Marsh Creek Road, and Oakhurst Drive provide arterial access to the Town Center.

PARKING

The existing parking supply in the Town Center area is composed of parking spaces located on privately-owned property, publicly-owned property, and streets (i.e., public right-of-way).¹ Expanded and new development for retail, office, other commercial, and residential uses must provide parking and loading spaces in accordance with the Parking Regulations provided in Chapter 17.37 of the *Zoning Ordinance*. The Parking Regulations also provide incentives for retail, restaurant, office, and personal service uses meeting certain criteria.

In 2007, the Clayton Redevelopment Agency purchased the parcel at the northwest corner of High Street and Diablo Street for development of a public parking lot to serve the anticipated development of retail, restaurant, and other commercial uses.

TRANSIT SERVICE

Bus service to Clayton is provided via County Connection Route 110. Passenger buses are operated on this route from the Concord BART station via Clayton Road to the Town Center.

PEDESTRIAN/BICYCLE FACILITIES

Sidewalks are available throughout the Town Center area. Pedestrian paths connect the Town Center with Clayton's trail network along Mt. Diablo Creek as well as the Black Diamond Trail. In addition, a pedestrian/bicycle underpass connects the Town Center with the Clayton Community Library, Keller Ranch House, Clayton City Hall, and the George Cardinet Trail on the north side of Clayton Road. Bike lanes are located on Clayton Road to the west of the Town Center and old Marsh Creek Road to the south of the Town Center. Other off-street bicycle routes connect the Town Center with the trail network.

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5.2 GOALS AND POLICIES

Goal I Establish an attractive and vibrant pedestrian-oriented Town Center with convenient vehicular access to parking areas.

Policy I.1 Locate public parking lots on sites which support the establishment and growth of a pedestrian-oriented urban core in the Town Center.

Policy I.2 Prioritize safe, convenient, and attractive pedestrian access to commercial buildings and public spaces in the design of all new development.

¹ The *Town Center Parking Study*, prepared in May 2006 provides an inventory of parking spaces available in 2006 as well as an analysis of projected parking demand.

Policy I.3 Strongly encourage the design and use of shared driveways which serve multiple properties in order to minimize the number of curb cuts on streets.

Goal II Establish a pedestrian “paseo” network of courtyards and walkways across the central blocks of the Town Center to connect The Grove public park with Mitchell Creek.

Policy II.1 Require new development located on the blocks in the area bounded by Main Street, Marsh Creek Road, Center Street, and Oak Street to incorporate courtyards or pedestrian walkways connecting to a “paseo” network with adjoining parcels.

Policy II.2 Issue revocable licenses or permits to owners of property adjacent to the blocks of Diablo Street and Morris Street between Main Street and Center Street for daily use of the public right-of-way for retail or dining purposes. Such licenses or permits shall not involve permanent structures or vehicular parking.

5.3 CIRCULATION STANDARDS

TRANSIT SERVICE

Bus stops in the Town Center should be provided with shelters, designed in conformance with the design guidelines (see Chapter 4) and installed with a minimum five-foot clear sidewalk width adjoining them.

PEDESTRIAN FACILITIES

New development located on the blocks in the area bounded by Main Street, Marsh Creek Road, Center Street, and Oak Street must incorporate courtyards or pedestrian walkways connecting to a “paseo” network with adjoining parcels. Retail shops, eating facilities, and commercial uses can face the paseo and use the paseo for pedestrian access. In addition, the paseo will serve to satisfy all or a portion of a development’s open space requirement required by zoning regulations (if applicable).

To compliment the paseo network, portions of the public right-of-way along Diablo Street and Morris Street between Main Street and Center Street can be made available to the adjoining property owners for daily use for certain activities such as retail uses or dining purposes. The City would issue licenses or permits to authorize such uses, with stipulations to ensure permanent structures or vehicular parking are not installed. The location of any such uses would need to ensure that vehicular access to parking lots with restricted access is retained (e.g., Village Market access to Morris Street).

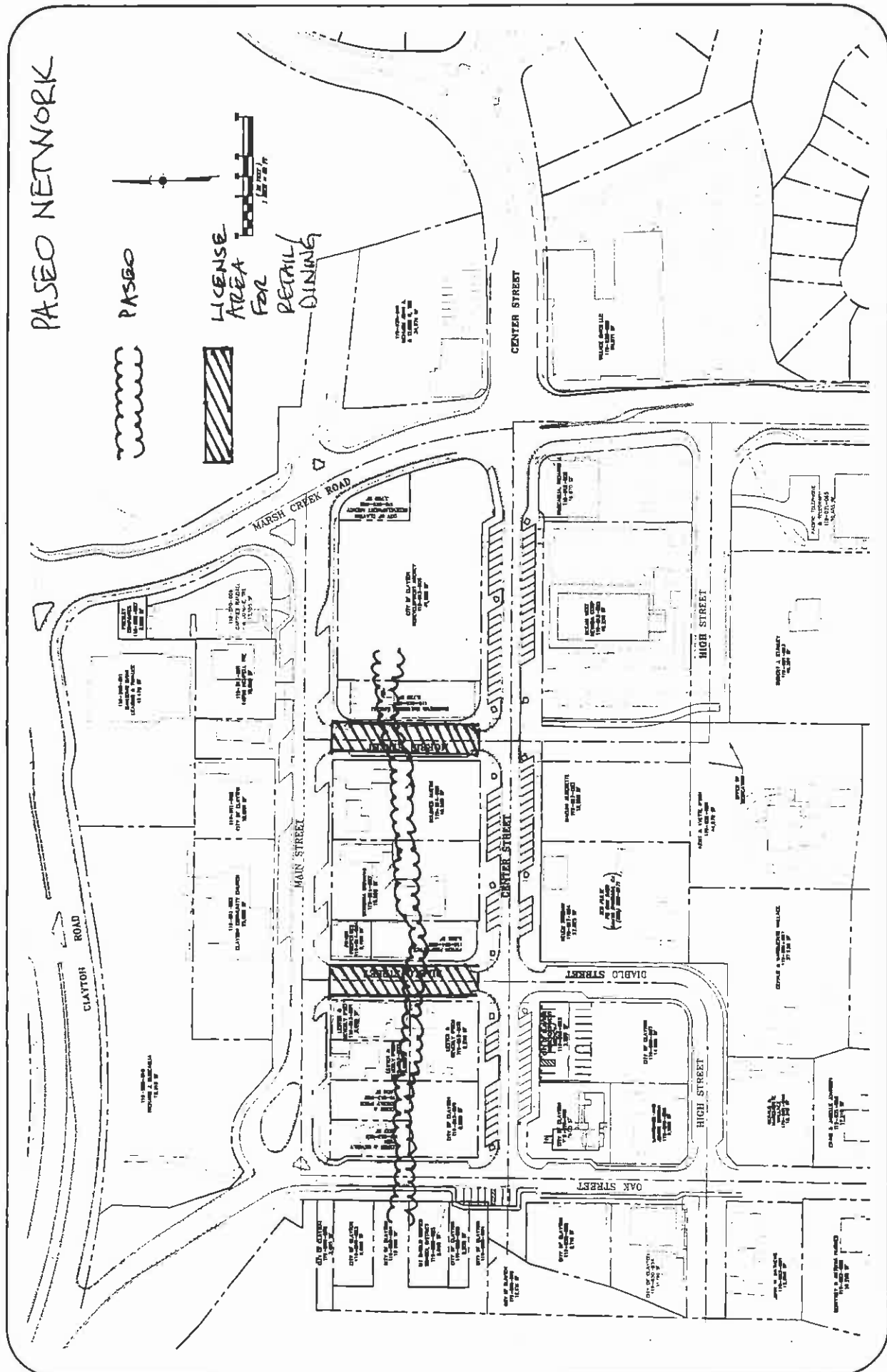
Sidewalks on Main Street and Center Street should maintain a minimum width of eight feet. Sidewalks on the remaining streets in the Town Center should maintain a minimum width of five feet. These minimum widths can include the width of a level curb and must be clear of any overhangs of diagonally parked vehicles (assumed to be two feet). [Note to P/C: Staff has added this standard in order to address new developments which may propose modifications of existing sidewalks. The City Engineer indicates the above standard describes the existing sidewalks in the Town Center.]

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In order to provide pedestrians with a clear vision area at crosswalks, all sidewalks should be clear of encroachment by trees, landscaping, light standards, sign posts, benches, and newspaper racks within a five-foot radius of crosswalk lines.

SPA 2007 01-07 Chapter 5 Circulation – Revision 2 Revised December 12, 2007

PASEO NETWORK



PREPARED 9/21/07