



Agenda
Planning Commission Meeting
7:00 P.M. on Tuesday, March 11, 2008
Clayton Community Library Meeting Room
6125 Clayton Road, Clayton

CALL TO ORDER, ROLL CALL, PLEDGE TO THE FLAG

Administrative

- 1A. Review of agenda items.
- 1B. Commissioner Odrzywolski to report at the March 18, 2008 City Council meeting.

Public Comment

Approval of Minutes

- 2. Approval of minutes from the regular meeting of February 26, 2008.

Public Hearings

- 3A. **SP 06-05, Sign Permit, Focus Realty**, Lots 1 and 8 in the Pine Hollow Estates residential subdivision adjacent to Pine Hollow Road, APNs 120-043-026 and -033. A request for a nine-month extension on a previously-approved subdivision marketing sign program for the Pine Hollow Estates residential subdivision.
Proposed Action: Approval.
- 3B. **SP 02-08, Sign Permit, Focus Realty**, proposed Lots 1 through 5 in the Mitchell Creek Place residential subdivision adjacent to High Street, APNs 119-021-070, -071, -072, -073, and -074. A request for approval of a subdivision marketing sign program for the Mitchell Creek Place residential subdivision.
Proposed Action: Approval, with conditions.
- 3C. **MAP 01-08, Lot Line Adjustment, JoAnn Caspar**, 945 Oak Street (APNs 119-040-036 and 119-040-037). A lot line adjustment to transfer approximately 1,000 square feet of land from APN 119-040-036 to APN 119-040-037. *Continued from the regular meeting of February 26, 2008.*
Proposed Action: Approval, with conditions.
- 3D. **SPR 01-08, Site Plan Review Permit, JoAnn Caspar**, 945 Oak Street (APN 119-040-036). A site plan review permit to allow the construction of a custom single-family residence measuring approximately 3,000 square feet in area and 29 feet in height. *Continued from the regular meeting of February 26, 2008.*
Proposed Action: Approval, with conditions.

- 3E. **DP 01-08, Development Plan, Komgold, 1005 and 1007 Oak Street** (APNs 119-050-009 and 119-050-034). A request for approval of a development plan to allow the construction of a two-story mixed-use commercial/residential building with approximately 7,000 square feet of commercial retail on the first floor and up to eight residential units on the second floor. *Continued from the regular meeting of February 26, 2008.*
Proposed Action: Provide direction to staff. Continue to the next regular meeting on March 25, 2008.
- 3F. **GPA 01-07, Town Center General Plan Update, City of Clayton.** An amendment of the *General Plan* Land Use Element, Circulation Element, and Community Design Element to make additions, revisions, and deletions of various goals, policies, objectives, standards, permitted uses, guidelines, text, and figures regarding development in the Town Center as well as other miscellaneous minor revisions and updates. *Continued from the regular meeting of February 26, 2008.*
Proposed Action: Continue to the next regular meeting on March 25, 2008 without discussion.
- 3G. **SPA 01-07, Town Center Specific Plan Update, City of Clayton.** An amendment of the *Town Center Specific Plan* including, but not limited to, Chapters 1 (Introduction), 3 (Municipal Services), 4 (Urban Design), 5 (Circulation), and 6 (Financial Implementation) to make additions, revisions, and deletions of various goals, policies, objectives, standards, permitted uses, guidelines, text, and figures. *Continued from the regular meeting of February 26, 2008.*
Proposed Action: Review Chapter 4 (Urban Design), provide direction to staff, approve Resolution No. 03-08, and continue hearing to the regular meeting on March 25, 2008.

Old Business

4. None

New Business

5. None

Communications

- 6A. Staff
6B. Commission

Adjournment

7. The next meeting of the Planning Commission is scheduled for **Tuesday, March 25, 2008.**

Most Planning Commission decisions are appealable to the City Council within ten (10) calendar days of the decision. Please contact Community Development Department staff for further information immediately following the decision. If the decision is appealed, the City Council will hold a public hearing and make a final decision. If you challenge a final decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing(s), either in oral testimony at the hearing(s) or in written correspondence delivered to the Community Development Department at or prior to the public hearing(s). Further, any court challenge must be made within 90 days of the final decision on the noticed matter. If you have a physical impairment that requires special accommodations to participate, please contact the Community Development Department at least 72 hours in advance of the meeting at 925-673-7340.

An affirmative vote of the Planning Commission is required for approval. A tie vote (e.g., 2-2) is considered a denial. Therefore, applicants may wish to request a continuance to a later Commission meeting if only four Planning Commissioners are present. Plng Comm Agendas 2008 0311

Minutes
City of Clayton Planning Commission Special Meeting
Monday, February 26, 2008

Call to Order

Chair Haydon called the meeting to order at 7:03 p.m. at the Library Meeting Room, Clayton Community Library, 6125 Clayton Road, Clayton.

Present: Chair Keith Haydon, Vice Chair Tuija Catalano, Commissioner Bob Armstrong, Commissioner Ed Hartley, Commissioner Joe Odrzywolski

Absent: None

Staff: Community Development Director Jeremy Graves
Assistant Planner Milan Sikela, Jr.

Administrative

1A. Review of agenda items

1B. Chair Haydon to report at the March 4, 2008 City Council meeting

Public Comment

None.

Approval of Minutes

2. Approval of minutes from the special meeting of February 11, 2008

Chair Haydon moved and Commissioner Armstrong seconded a motion to approve the minutes from the meeting of February 11, 2008, as submitted. The motion passed 5-0.

Public Hearings

3A. **HOP 01-08, Home Occupation Permit, Carol Hallberg**, 8 Whitt Court (APN 118-211-008). A home occupation permit to allow a personal training business to have a maximum of six clients per day and a maximum of thirty clients per week visit the applicant's residence for training.

Commissioner Odrzywolski recused himself since his residence is within 500 feet of the project site.

The public hearing was opened. Assistant Planner Sikela presented the staff report.

Commissioner Hartley asked if Whitt Court is a public street. *Staff responded that it was a public street of standard width.*

Carol Hallberg, the applicant, indicated the following:

- Wants to work with clients one-on-one, with no more two at one time as clients arrive and depart.
- The business will not interfere with anyone in the neighborhood.
- Clients will park in the driveway of the subject residence.

Linda Ehler, 11 Whitt Court, read aloud a letter opposing the project.

Planning Commission comments and questions included:

- Does the neighborhood have a homeowners association? *Ms. Ehler answered "No."*
- If there is only one person at the applicant's house at one time, is that still a problem? *Ms. Ehler answered "Yes."*
- One or two cars at a time will not create a traffic problem.
- The applicant could have done a better job of informing the neighborhood of the proposed business.

Vice Chair Catalano moved and Commissioner Hartley seconded a motion to approve home occupation permit HOP 01-08, with findings and conditions of approval recommended by staff. The motion passed 5-0.

Commissioner Odrzywolski returned to the meeting.

- 3B. **MAP 01-08, Lot Line Adjustment, JoAnn Caspar**, 945 Oak Street (APNs 119-040-036 and 119-040-037). A lot line adjustment to transfer approximately 1,000 square feet of land from APN 119-040-036 to APN 119-040-037.

Commissioner Armstrong moved and Vice Chair Catalano seconded a motion to continue the public hearing to the next regular meeting of March 11, 2008. The motion passed 5-0.

- 3C. **SPR 01-08, Site Plan Review Permit, JoAnn Caspar**, 945 Oak Street (APN 119-040-036). A site plan review permit to allow the construction of a custom single-family residence measuring approximately 3,000 square feet in area and 29 feet in height.

Chair Haydon moved and Commissioner Odrzywolski seconded a motion to continue the public hearing to the next regular meeting of March 11, 2008. The motion passed 5-0.

- 3D. **DP 01-08, Development Plan, Komgold**, 1005 and 1007 Oak Street (APNs 119-050-009 and 119-050-034). A request for approval of a development plan to allow the construction of a two-story mixed-use commercial/residential building with approximately 7,000 square feet of commercial retail on the first floor and eight residential units on the second floor.

The public hearing was opened. Assistant Planner Sikela presented the staff report.

Commission questions included:

- Will changing the site plan effect the architecture? *Staff answered "Yes."*
- Have we resolved the CEQA issue? *Staff responded "No. However, the applicant is preparing the site plan with attention given to CEQA review requirements."*
- Will the affected agencies be reviewing the site plan? *Staff answered "Yes."*

Robert Staehle, representative of the applicant, indicated the following:

- We understand that the site plan will affect the architecture.
- The internal garage spaces could be divided by chain link fences.
- Location of elevator entrance for residential and retail needs to be on High Street.
- The second-story club room could be used as a "common room" by the residents.

- It is intended for the second-story residences to be condominiums.
- Stone facing at southeast corner of the building will provide a visual anchor; it will soften with landscaping.
- Prefer second-story window awnings only be located on the central element of the High Street elevation.

Commission comments and questions included:

- Is stucco is an appropriate “western” look for Clayton?
- What material would be used if stucco is not used? Could brick or modular block be used?
- Consensus is that two elements on the Oak Street elevation could be stucco. *Mr. Staehle indicated that the balcony units on the Oak Street elevation could use horizontal planks that are a different width than the horizontal planks used on the central tower of the Oak Street elevation.*
- The Oak Street elevation of the garage may benefit from faux windows with bars as a tribute to the former City jail that was located in the Town Center. *Mr. Staehle expressed concern that bars on the windows would be out of the character for the project.*
- Consensus is that windows with jail bars should be used on the Oak Street elevation of the garage.
- A trellis could wrap around the southeast corner and allow for landscaping to hang down over the masonry wall.
- When the site plan is prepared, it should show the footprints of the existing buildings and the proposed building.
- The south end of the project site is four feet higher than the north end—what do you propose to do? *Mr. Staehle indicated that the design team is working on it and that there may be a grade break in the ground floor.*
- Overall, we’re very happy with the architecture.
- Consensus is that the 3-D renderings will be updated—especially for the southeast corner—and that the materials sample board will be updated.

Chair Haydon moved and Commissioner Hartley seconded a motion to continue the public hearing for development plan DP 01-08 to the next regular meeting of March 11, 2008. The motion passed 5-0.

- 3E. **GPA 01-07, Town Center General Plan Update, City of Clayton.** An amendment of the *General Plan* Land Use Element, Circulation Element, and Community Design Element to make additions, revisions, and deletions of various goals, policies, objectives, standards, permitted uses, guidelines, text, and figures regarding development in the Town Center as well as other miscellaneous minor revisions and updates. *Continued from the special meeting of February 11, 2008.*

Chair Haydon moved and Commissioner Odrzywolski seconded a motion to continue the public hearing for general plan amendment GPA 01-07 to the meeting of March 11, 2008. The motion passed 5-0.

- 3F. **SPA 01-07, Town Center Specific Plan Update, City of Clayton.** An amendment of the *Town Center Specific Plan* including, but not limited to, Chapters 1 (Introduction), 3 (Municipal Services), 4 (Urban Design), 5 (Circulation), and 6 (Financial Implementation) to make additions, revisions, and deletions of various goals, policies, objectives, standards, permitted uses, guidelines, text, and figures. *Continued from the special meeting of February 11, 2008.*

Chair Haydon moved and Commissioner Odrzywolski seconded a motion to continue the public hearing for specific plan amendment SPA 01-07 to the next regular meeting of March 11, 2008. The motion passed 5-0.

Communications

6A. Staff – Director Graves announced that he has accepted an offer to be the Community Development Director for the City of Sausalito. He noted that he has enjoyed working with the Planning Commission for the past 8½ years, especially on a variety of projects in the Town Center. The Commissioners expressed appreciation for his work in the Town Center and wished him good luck in his new position.

6B. Commission – None.

Adjournment

7. The meeting was adjourned at 9:30 p.m.

Submitted by
Jeremy Graves, AICP
Community Development Director

Approved by
Keith Haydon
Chair

Plng Comm 2008 Minutes 0226

PLANNING COMMISSION STAFF REPORT

Meeting Date: March 11, 2008

From: Milan J. Sikela, Jr. 
Assistant Planner

Subject: Focus Realty Services, Inc.
Pine Hollow Estates Subdivision Marketing Sign Program
(SP 06-05)

REQUEST

A request for a nine-month time extension for the previously-approved Pine Hollow Estates subdivision marketing sign program.

PROJECT INFORMATION

Applicant: Focus Realty
3675 Mount Diablo Boulevard, Suite 350
Lafayette, CA 94549

Owner/Location: Pine Hollow Group, L.P.
Lots 1 and 8 of the Pine Hollow Estates subdivision
APNs 120-043-026 and 120-043-033
(See **Exhibit A** for Vicinity Map)

DISCUSSION

On December 14, 2005, the Planning Commission approved Sign Permit SP 06-05 for the Pine Hollow Estates subdivision marketing sign program, which entailed installation of one temporary ground sign and four pole pennants. Condition 2 of the Planning Commission Notice of Decision states that all signage for the subdivision marketing sign program "shall be removed by October 31, 2006 or close of last escrow, whichever occurs first." On September 12, 2006, a nine-month extension of the subdivision marketing sign program was granted by the Commission to July 31, 2007. Since that time, the signs have remained. However, staff has not received any complaints related to the signs.

Due to the recent reduction of housing sales, the applicant has submitted a letter requesting a nine-month extension for the Pine Hollow Estates subdivision marketing sign program (see **Exhibit B**). If approved, this would amend Condition 2 of the original Notice of Decision to read:

"All signage for the subdivision marketing sign program shall be removed by November 30, 2008 or close of last escrow, whichever occurs first."

CONCLUSION

Staff has reviewed the request for the nine-month time extension of the subdivision marketing sign program for the Pine Hollow Estates subdivision and determined that the time extension complies with the originally-approved parameters of the subdivision marketing sign program in accordance with the regulations specified in Section 15.08.070.I. of the *Sign Provisions*.

RECOMMENDATION

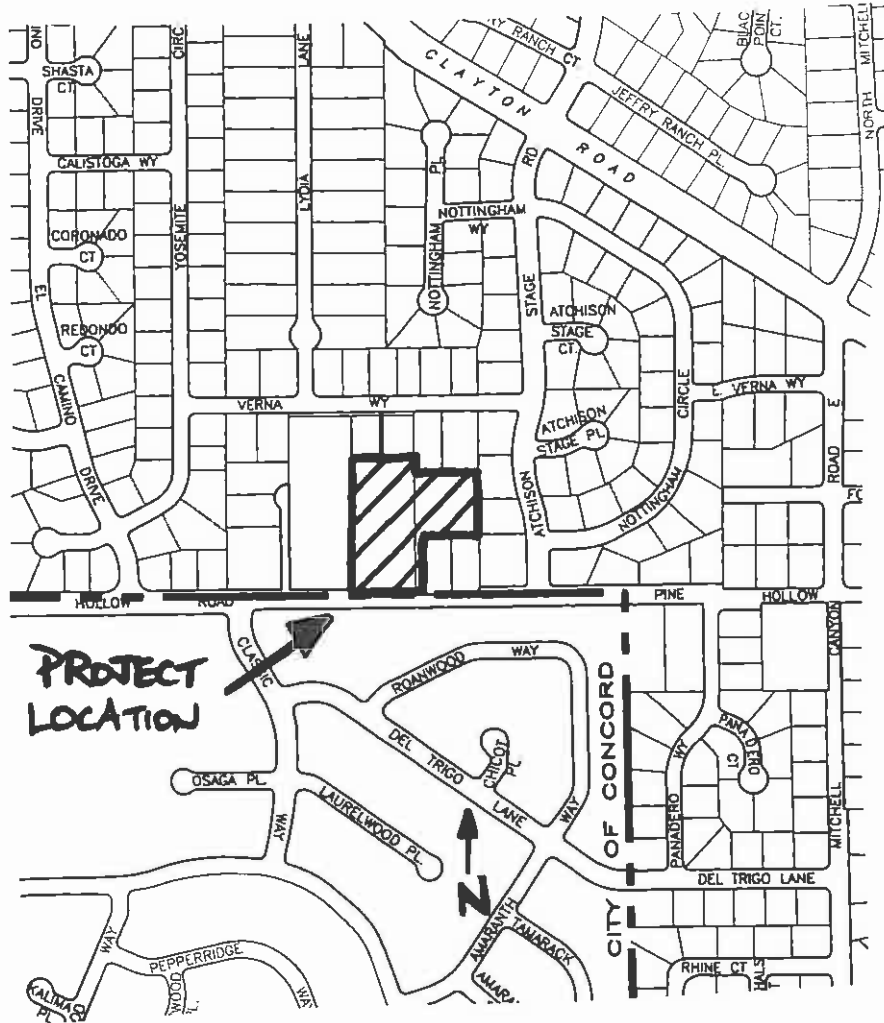
Staff recommends that the Planning Commission approve a nine-month time extension for sign permit SP 06-05, and amend Condition 2 of the Planning Commission Notice of Decision to read:

“All signage for the subdivision marketing sign program shall be removed by November 30, 2008 or close of last escrow, whichever occurs first.”

EXHIBITS

- A Vicinity Map
- B Letter from applicant, dated August 31, 2006

SP 2005 06-05.sr3



VICINITY MAP
LOTS 1 AND 8 OF THE PINE HOLLOW ESTATES
SUBDIVISION
APNs 120-043-026 AND 120-043-033

EXHIBIT A

Focus Realty Services

February 11, 2008

Planning Commission
City of Clayton
6000 Heritage Trail, Third Floor
Clayton, CA 94517

RE: Extension of Sign Removal Date, Pine Hollow Estates Subdivision Marketing Sign Program

Gentlemen:

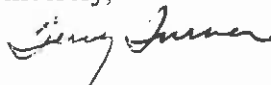
In September, 2006 your commission approved an extension of Pine Hollow Estates Subdivision Marketing Sign program (SP 06-05). At that time you approved an extension to July 31, 2007 or close of escrow of the last home, whichever occurs first.

We apologize for not having returned to the Commission on a timely basis for an additional extension.

We would ask for approval of an additional extension through November 30, 2008.

Thank you for your consideration of our request.

Sincerely,



Terry Turner
Project Coordinator

WTT: tt 650-TT-C of Clayton Planning Commission

RECEIVED

FEB 15 2008

**CLAYTON COMMUNITY
DEVELOPMENT DEPT.**

PLANNING COMMISSION STAFF REPORT

Meeting Date: March 11, 2008

From: Milan J. Sikela, Jr. *MS*
Assistant Planner

Subject: Focus Realty Services, Inc.
Mitchell Creek Place Subdivision Marketing Sign Program
(SP 02-08)

REQUEST

Approval of a sign permit for the Mitchell Creek Place subdivision marketing sign program.

PROJECT INFORMATION

Applicant: Focus Realty Services, Inc.
3675 Mount Diablo Boulevard, Suite 350
Lafayette, CA 94549

Owner/Location: Mitchell Creek Associates, L.P.
Lots 1, 2, 3, and 5 of the Mitchell Creek Place subdivision
APNs 119-021-070, -071, -072, and -074
(See **Exhibit A** for Location Map)

General Plan Designation: Medium Density – Single Family Residential (3.1 to 5.0 units per acre). This proposal complies with the *General Plan* designation.

Zoning Planned Development – PD.

Environmental Review Categorically exempt per Section 15311(a), Class 11 of the State CEQA Guidelines.

Public Notice Not required.

Agency Referrals Not referred.

Authority Section 15.08.030.B.2.d of the *Sign Provisions* authorizes the Planning Commission to approve a sign permit for a “subdivision marketing sign program” in accordance with the standards in 15.08.070.I.

BACKGROUND AND ANALYSIS

The applicant has requested a sign permit for the Mitchell Creek Place subdivision marketing sign program. The applicant is proposing one temporary ground sign and four pole pennants.

Temporary Ground Sign

The temporary ground sign is proposed to be located at the northwest corner of Lot 1 facing the intersection of Oak Street and High Street. The ground sign location is provided as **Exhibit B** and the ground sign elevation is provided as **Exhibit C**. The sign is proposed as follows:

- ▶ 32 square feet in size (8 feet long by 4 feet tall);
- ▶ 6 feet 8 inches in height (including the two support posts and the pitched sign cap);
- ▶ White and black text; and
- ▶ Dark and light brown background with a rendering of three Mitchell Creek Place units.

Pole Pennants

Of the four pole pennants proposed, one is proposed for the Oak Street frontage on Lot 1 with the other three on the High Street side of Lots 2, 3, and 5. The pole pennant locations are also included on **Exhibit B** and the pole pennant elevations are provided as **Exhibit D**. Each of the pole pennants are proposed as follows:

- ▶ 15 square feet in size (3 feet long by 5 feet tall);
- ▶ 18 feet in height (including the pole);
- ▶ Anchored into the ground with concrete footings; and
- ▶ Yellow and green colors.

Staff has concerns that the pole pennant located on Lot 5 is approximately 38 feet from the pole pennant on Lot 3. This conflicts with Section 15.08.070.I.3 of the *Sign Provisions* which requires pole pennants to be located a minimum of 50 feet apart. Staff has provided a condition that the pole pennant on Lot 5 be relocated a minimum of 50 feet from the nearest pole pennant.

CONCLUSION

Staff has reviewed the proposed subdivision marketing sign program for the Mitchell Creek Place subdivision and determined that, as conditioned, the signage complies with the subdivision marketing sign program regulations specified in Section 15.08.070.I. of the *Sign Provisions* with regard to sign area, height, and placement.

RECOMMENDATION

Staff recommends that the Planning Commission approve sign permit SP 02-08 for the Mitchell Creek Place subdivision marketing sign program, based upon the following findings and subject to the following conditions.

Proposed Findings

Based upon the evidence set forth in the staff reports, which includes relevant information from the project file, as well as testimony at the public hearing, the Planning Commission finds the site plan review permit for the addition, as conditioned:

1. Conforms with the *General Plan* designation and policies.
2. Contains signs that are displayed within the boundaries of the subdivision.

3. Includes pole pennants which do not exceed 25 feet in height and are not less than 50 feet apart.
4. Is comprised of signage that does not exceed 8 feet in length, 10 feet in height, nor a total area of 64 square feet for any individual sign.

Proposed Conditions of Approval

These conditions of approval apply to the sign plans prepared by Motivational Systems Inc, date stamped February 15, 2008; and to the site plan showing temporary ground sign and pole pennant locations, submitted by the applicant, date stamped December 8, 2005.

1. The pole pennant on Lot 5 shall be relocated to a minimum of fifty (50) feet from all other pole pennants.
2. All signage for the subdivision marketing sign program shall be removed by March 31, 2009 or close of last escrow, whichever occurs first.
3. The applicant agrees to indemnify, protect, defend, and hold harmless the City and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes, proceedings, suits, damages, judgements, liens, levies, costs, and expenses of whatever nature, including attorney's fees and disbursements arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City relating to this entitlement, or the environmental review conducted under the California Environmental Quality Act for this entitlement and related actions.

Advisory Notes

Advisory notes are provided to inform the applicant of: (a) Clayton Municipal Code requirements; or (b) requirements imposed by other agencies. The advisory notes are not part of the conditions of approval.

1. The applicant shall comply with all applicable state, county, and city codes, regulations and adopted standards.
2. All construction and other work shall occur only between 7:00 a.m. and 5:00 p.m. Monday through Friday. Any such work beyond these hours and days is strictly prohibited unless previously authorized in writing by the City Engineer (CMC §15.01.010) located at 1005 Oak Street, 925-672-9700.
3. The applicant shall obtain the necessary building permits from the Contra Costa County Building Inspection Department.

EXHIBITS

- A Location Map
- B Site plan of temporary ground sign and pole pennant locations, submitted by applicant, date stamped February 15, 2008
- C Elevation of temporary ground sign, prepared by Motivational Systems Inc, date stamped February 15, 2008
- D Elevations of pole pennants, prepared by Motivational Systems Inc, date stamped February 15, 2008

SP\2008\02-08.sr1

⊗ = POLE PENNANTS

HIGH STREET

OAK STREET

4' x 8'
5' 6" W

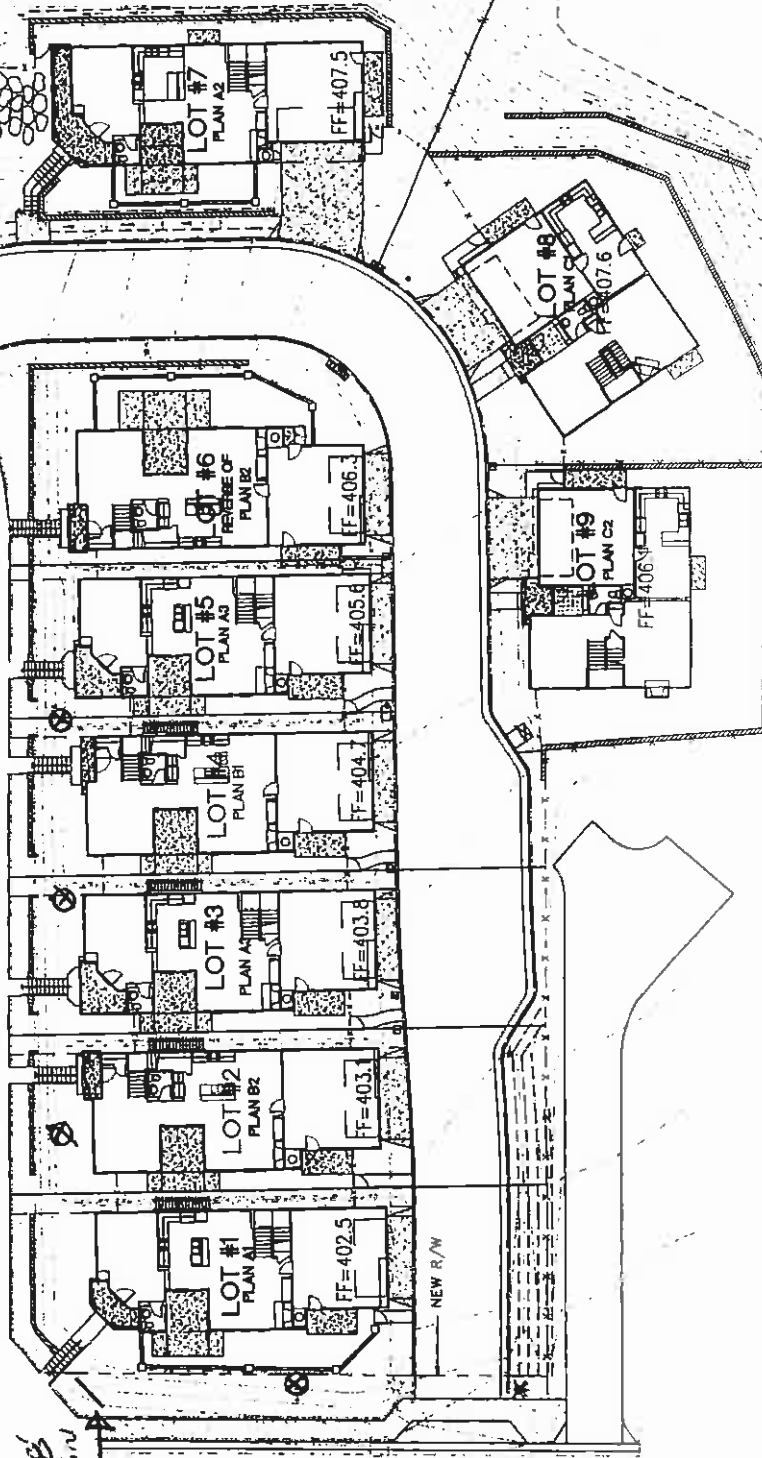


EXHIBIT B

SITE PLAN

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FEB 15 2008

CLAYTON COMMUNITY
DEVELOPMENT DEPT.

- ☐ Austin (512) 383-1572
- ☐ Denver (303) 790-0760
- ☐ Fresno (559) 431-2502
- ☐ Las Vegas (702) 253-6470
- ☒ Livermore (925) 446-1900
- ☐ Phoenix (602) 464-8844
- ☐ Sacramento (916) 635-9234
- ☐ San Antonio (210) 805-9555
- ☐ San Diego (619) 474-8246
- ☐ Seattle (206) 575-4895
- ☐ Southern Co. (931) 328-2637

PROJECT
MITCHELL CREEK PLACE

CLIENT
FOCUS REALTY SERVICES

JDO#/JPO#
500-22382-OGD

MO#
99797

AE
TERRIEVERHART

DESIGNER
SARAH TEDFORD

ORIGINAL DATE
8-27-07

REVISIONS

8-31-07
10-10-07
01-11-08/MS

SCALE
3/4" = 1' - 0"

MAC FILE NAME (GD-1)
MITCHELL CREEK PLACE 4X8

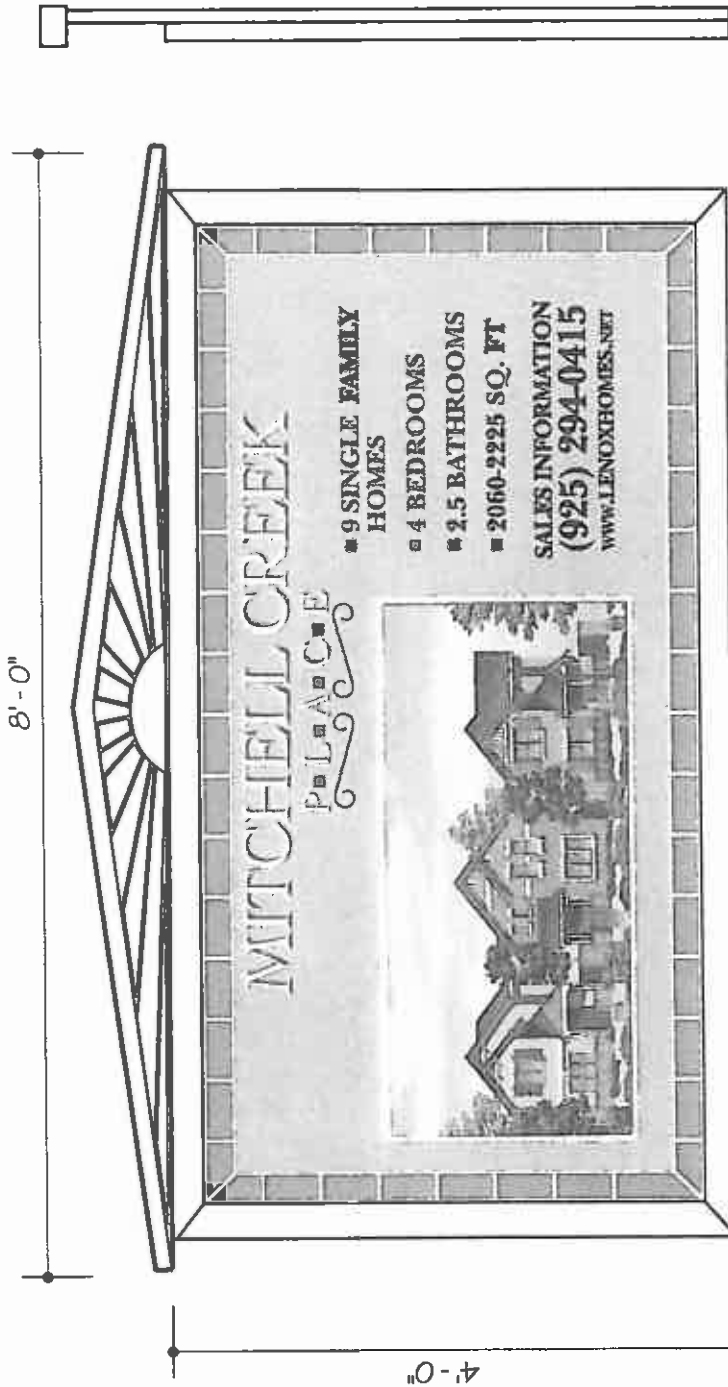
LOGO IS PROD-READY

CLIENT APPROVAL

☐ As is ☐ With revision(s)

Signature _____ Date _____

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SIDE VIEW
FACE
N.T.S.



4X8 SIGN

- SUB --WOOD CUT TO SHAPE WITH PHOTOVINYL GRAPHICS.
- BACKGROUND --PMS 408/TAUPE FAUX TILE BACKGROUND.
- BORDER --WOOD PAINTED WHITE WITH ROOF ROUTED ACCENTS.
- COPY --PROJECT NAME WHITE W/ PMS 8/GRAY DROP SHADOW COPY AND LOGO BLACK.
- POSTS --4X6 WOOD POSTS PAINTED WHITE.
- FONTS --COCHIN & ITC NEW BASKERVILLE.

RECEIVED

FEB 15 2008

CLAYTON COMMUNITY DEVELOPMENT DEPT.

RECEIVED

FEB 15 2008

CLAYTON COMMUNITY
DEVELOPMENT DEPT.



- | | |
|---|---|
| ☐ San Diego
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| ☐ Denver
(303) 790-0780 | ☐ Seattle
(206) 575-4895 |
| ☐ Southern Ca.
(951) 328-2607 | ☐ Sacramento
(916) 635-0234 |
| ☐ Las Vegas
(702) 253-6470 | ☐ Fresno
(559) 431-2502 |
| ☒ Livermore
(925) 449-1900 | ☐ Austin
(512) 383-1572 |

PROJECT

MITCHELL CREEK

CLIENT

FOCUS REALTY

JDO#/JPO#

500-23484-056

AE

TE

DESIGNER

WJM

ORIGINAL DATE

02 - 11 - 08

REVISIONS

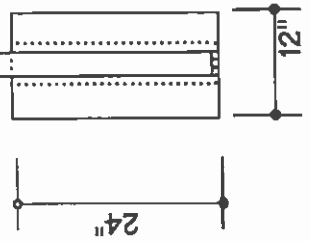
SCALE

AS SHOWN

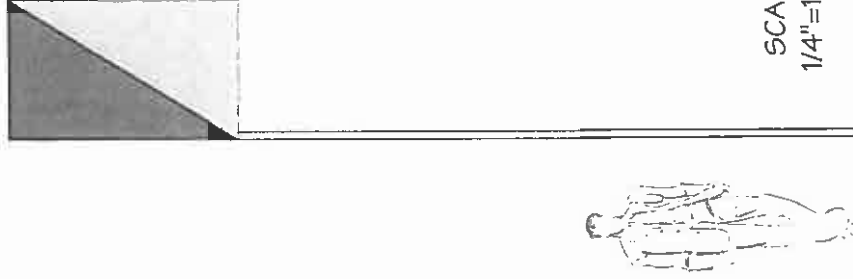
MAC FILE NAME (UV-1)

5X3 FLAG

SCALE
1/2" = 1'-0"



SCALE
1/4" = 1'-0"



5X3 FLAG

- FLAG -- TWO COLOR NYLON WITH VERTICAL SLEEVE
GREEN-PMS 350, YELLOW-PMS 131
- POLE -- STANDARD 21' X 15/8" GALVANIZED PAINTED WHITE
- ANCHOR -- PVC SLEEVE IN 24-30" CONCRETE PILLAR

CLIENT APPROVAL
☐ As is ☐ With revision(s)

Signature _____ Date _____
Your signature indicates final approval of this design, releasing MSI from responsibility of trademark information. This is an original MSI design. All rights to use or reproduce in whole or in part, in any form or to fabricate or produce any likeness thereof shall remain the exclusive right of MSI.
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EXHIBIT D

PLANNING COMMISSION STAFF REPORT

Meeting Date: March 11, 2008

From: Milan J. Sikela, Jr. 
Assistant Planner

Subject: JoAnn Caspar
Lot Line Adjustment (MAP 01-08)
Site Plan Review Permit (SPR 01-08)

REQUESTS

A lot line adjustment to transfer approximately 1,000 square feet of land from APN 119-040-036 to APN 119-040-037.

A site plan review permit to allow the construction of a custom single-family residence measuring approximately 4,100 square feet in area and 29 feet in height on APN 119-040-037.

PROJECT INFORMATION

Applicant/Property Owner/ Location: JoAnn Caspar
945 Oak Street
APNs 119-040-036 and 119-040-037
(See **Exhibit A** for Location Map)

General Plan Designation: Rural Estate - Single Family Residential (0 to 1.0 units per acre).
This proposal complies with the *General Plan* designation.

Zoning: Single Family Residential R-40-H District (40,000 square-foot minimum lot area).

Environmental Review: Categorically exempt per Section 15305(a), Class 5 of the State CEQA Guidelines (Lot Line Adjustment)

Categorically exempt per Sections 15303(e), Class 3 of the State CEQA Guidelines (Site Plan Review Permit).

Public Notice: On February 15, 2008, a public hearing notice was posted on the site and at the notice boards, mailed to property owners within 300 feet of the site, and faxed to the newspapers. To date, no comments have been received by staff.

Prior Approvals: Variance VAR 02-07 was approved by the Planning Commission on July 10, 2007.

Agency Referrals: Comments from the City Engineer and City Stormwater Manager have been incorporated into the advisory notes. The Contra Costa County Building Inspection Department, Contra Costa County Fire Protection District, and Contra Costa Water District did not respond.

Authority: Section 16.02.030.D of the *Subdivision Ordinance* authorizes the Planning Commission to approve a lot line adjustment.

Section 17.44.030 of the *Zoning Ordinance* authorizes the Planning Commission to approve a site plan in accordance with standards in Section 17.44.050.

LOT LINE ADJUSTMENT

The applicant, who owns both subject parcels, has requested approval of a lot line adjustment to transfer approximately 1,000 square feet of land from APN 119-040-036 (termed “Parcel A”) to APN 119-040-037 (termed “Parcel B”). The lot line adjustment will result in a northward shift of a 100-foot section of the property line on Parcel B, thereby allowing a proposed custom residence (addressed in the companion site plan review permit analysis below) to comply with the required 20-foot interior side setback on the north side of the proposed residence. The existing lot configuration is provided as **Exhibit B** and the proposed lot configuration is provided as **Exhibit C**.

Per Section 16.02.030.D of the *Subdivision Ordinance*, review and approval of a lot line adjustment by the Planning Commission is limited to a “determination of whether or not the parcels resulting from the lot line adjustment will conform to local zoning and building ordinances.” The City’s lot line adjustment regulations allow for the Commission to place zoning and building ordinance-related conditions of approval on the project as well as requiring conditions for relocation of existing utilities, infrastructure, or easements.

In accordance with the requirements listed in Section 16.02.030.D, staff has provided a condition that a deed or record of survey for the lot line adjustment must be recorded with proof of recordation submitted to the Community Development Department.

Conclusion

Staff has reviewed the lot line adjustment proposal relative to the provisions in Section 16.02.030.D of the *Subdivision Ordinance* and concluded that the project conforms with the *General Plan* land use and density requirements for Rural Estate Single Family Residential land use designations and the *Zoning Ordinance* development standards for the R-40-H District.

SITE PLAN REVIEW

The applicant has requested approval of a site plan review permit to allow the construction of a two-story custom residence measuring approximately 4,146 square feet in area and 29 feet in height. An existing two-story garage/house, single-story shed, and retaining wall will be demolished as part of the project. The residence has been designed with light brown stucco siding, tan trim, brown accents, composition shingle roof material, and 6:12 roof pitch. The variance setback analysis, site plan, grading and drainage plan, floor plan, cross section, and architectural elevations are provided as **Exhibit D**.

Setback Analysis

The project meets the R-40-H District standards as shown below.

Required Setbacks	Existing Setbacks	Proposed Setbacks	Project Compliance
Front Setback 40'	East 24'	East 28'	Yes*
Side Setback 20' minimum 40' aggregate	North 97' South 20' Aggregate 117'	North 20' South 32' Aggregate 52'	Yes* Yes Yes
Rear Setback 15'	West 142'	West 147'	Yes

*See discussion below.

Front Setback Discussion

For the R-40-H District, the front setback is 40 feet. Due to the majority of the lot depth being constrained by the steep slope extending toward the rear of the property and the Oak Street access easement occupying the front area of the property, variance VAR 02-07 was approved by the Planning Commission on July 10, 2007. The variance authorized a portion of the residence to encroach 12 feet into the 40-foot front setback, thereby allowing sections of the residence to be located a minimum of 28 feet from the edge of the Oak Street access easement.

Side Setback Discussion

The companion lot line adjustment request proposes to shift a 100-foot section of the side property line northward approximately 13 feet. If approved, this new lot configuration will allow the proposed residence to comply with the required 20-foot side setback.

Residential Floor Area Analysis

Building Footprint

The proposal meets the building footprint requirements as shown below.

Net Lot Area	Building Footprint Allowed	Existing Building Footprint	Proposed Building Footprint	Project Compliance
34,266 sq ft	8,566 sq ft	880 sq ft	3,056 sq ft	Yes

Floor Area

The proposal meets the floor area requirements as shown below.

Net Lot Area	Floor Area Allowed	Existing Floor Area	Proposed Floor Area	Project Compliance
34,266 sq ft	11,993 sq ft	1,540 sq ft	4,146 sq ft	Yes

Variance Issues

On July 10, 2007, the Commission approved variance VAR 02-07 for the subject property to allow the following exceptions from the required 40-foot front setback:

- A maximum of 100% of the first story may encroach six feet into the required 40-foot front setback.
- A maximum of 50% of the first story may encroach 12 feet into the required 40-foot front setback.
- A maximum of one-third (33%) of the second story may encroach 12 feet into the required 40-foot front setback.

Floor plans of the first and second story have been provided showing project compliance with the variance conditions of approval (see **Exhibit D, Sheet X1 and X2**). Based on the 96-foot width of the residence, approximately 93% (or 90 feet of width) of the first floor encroaches six feet or less into the 40-foot front setback; approximately 45% (or 43 feet of width) of the first floor encroaches 12 feet into the 40-foot front setback; and approximately 32% (or 31 feet of width) of the second floor encroaches 12 feet into the 40-foot front setback—thereby showing project compliance with the approved variance.

Design Analysis

The residence has been designed with a unique array of pop-outs, straight and hipped gable roof ends, and window styles (see **Exhibit D, Sheet 4**). The mixture of single-story and double-story projections lends a dynamic face to all four facades, with each elevation appearing as a distinct architectural entity. The arched themes used for the windows, french doors, and garage doors are interspersed with the squared-off smaller secondary windows, fostering a prominent aesthetic rhythm for the residence. Visual interest is provided through use of wrought iron balcony railings, window shutters, and “acorn”-shaped exterior wall lights. The broad-shouldered massing of the first story tapering through to the centralized second-story form and culminating in the articulated roof apex promotes an element of presence for this portion of the Oak Street corridor—a presence emboldened by the commanding recessed two-story entryway. The neighborhood would benefit from the definitive curb appeal afforded by the project.

Conclusion

Staff has reviewed the design aspects of the proposed plans relative to the standards for Site Plan Review Permits and determined that the project, as conditioned, is in conformance with the standards. The proposed findings listed below specifically address the standards.

RECOMMENDATION

Staff recommends that the Planning Commission:

- Approve MAP 01-08 to allow a lot line adjustment to transfer approximately 1,000 square feet of land from APN 119-040-036 to APN 119-040-037.
- Approve SPR 01-08 to allow the construction of a custom single-family residence measuring approximately 4,100 square feet in area and 29 feet in height on APN 119-040-037.

Proposed Lot Line Adjustment Findings of Approval

Based upon the evidence set forth in the staff reports, which includes relevant information from the project file, as well as testimony at the public hearing, the Planning Commission finds that, as conditioned:

1. Is consistent with the *General Plan* designation and policies.
2. Conforms with the *Zoning Ordinance*.

Proposed Lot Line Adjustment Conditions of Approval

These conditions of approval apply to the proposed Lot Line Adjustment map, prepared by Isakson & Associates Inc., date stamped February 13, 2008.

1. A deed or record of survey for the lot line adjustment shall be recorded for each lot with proof of recordation submitted to the Community Development Department. All costs of recordation shall be incurred by the applicant.
2. The applicant agrees to indemnify, protect, defend, and hold harmless the City and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes, proceedings, suits, damages, judgements, liens, levies, costs, and expenses of whatever nature, including attorney's fees and disbursements arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City relating to this entitlement, or the environmental review conducted under the California Environmental Quality Act for this entitlement and related actions.

Proposed Site Plan Review Permit Findings of Approval

Based upon the evidence set forth in the staff reports, which includes relevant information from the project file, as well as testimony at the public hearing, the Planning Commission finds the site plan review permit for the addition, as conditioned:

1. Is consistent with the *General Plan* designation and policies.
2. Meets the standards and requirements of the *Zoning Ordinance*.
3. Preserves general safety of the community regarding seismic, landslide, flooding, fire, and traffic hazards.
4. Maintains solar rights of adjacent properties.
5. Reasonably maintains the privacy of adjacent property owners and/or occupants.
6. Reasonably maintains the existing views of adjacent property owners and/or occupants.
7. Is complementary, although not identical with adjacent existing structures in terms of materials, colors, size, and bulk.
8. Is compatible with the neighborhood and surrounding land uses.

Proposed Site Plan Review Permit Condition of Approval

This condition of approval applies to the proposed boundary & topography survey and grading and drainage plan, prepared by Isakson & Associates Inc., date stamped February 13, 2008; and to the proposed variance setback analysis, site plan, floor plan, cross section, and architectural elevations, prepared by Robert C. Kendall & Associates, date stamped February 13, 2008.

1. Prior to issuance of a building permit, the applicant shall record a deed or record of survey for the lot line adjustment with proof of recordation submitted to the Community Development Department. All costs of recordation shall be incurred by the applicant.

2. The applicant agrees to indemnify, protect, defend, and hold harmless the City and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes, proceedings, suits, damages, judgments, liens, levies, costs, and expenses of whatever nature, including attorney's fees and disbursements arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City relating to this entitlement, or the environmental review conducted under the California Environmental Quality Act for this entitlement and related actions.

Advisory Notes

Advisory notes are provided to inform the applicant of: (a) *Clayton Municipal Code* requirements; or (b) requirements imposed by other agencies. The advisory notes are not part of the conditions of approval.

1. The applicant shall comply with all applicable state, county, and city codes, regulations, and adopted standards.
2. Prior to obtaining a building permit, the applicant shall prepare an erosion and stormwater control plan for review and approval by the City Engineer (CMC §13.12.050).
3. Prior to the commencement of grading, demolition, or construction activities, the applicant shall obtain City approval of a construction and demolition recycling plan (CMC § 15.80.040).
4. This site plan permit shall be used, exercised, or established within twelve months after the granting of the Permit, or a time extension must be obtained from the Planning Commission, otherwise the Permit shall be void (CMC §17.64.010-030).
5. All grading, construction, and other work shall occur only between 7:00 a.m. and 5:00 p.m. Monday through Friday. Any such work beyond these hours and days is strictly prohibited unless previously authorized in writing by the City Engineer (CMC §15.01.010) located at 1005 Oak Street, 925-672-9700.
6. The applicant shall obtain the necessary building permits from the Contra Costa County Building Inspection Department.
7. Additional requirements may be imposed by the Contra Costa County Fire Protection District. Before proceeding with the project, it is advisable to check with the Fire District located at 2010 Geary Road, Pleasant Hill, 925-930-5500.
8. If the project site is located within an area subject to covenants, conditions, and restrictions (CC&R's) administered by a homeowners association, additional requirements and/or approvals may be required by the homeowners association. Before proceeding with the project, it is advisable to check with the homeowners association to ensure any applicable requirements are met.

EXHIBITS

- A Location Map
- B Copy of Parcel Map 809-98, submitted by the applicant, date stamped February 13, 2008
- C Proposed Lot Line Adjustment map, prepared by Isakson & Associates Inc., date stamped February 13, 2008
- D Proposed Boundary & Topography Survey and Grading and Drainage Plan, prepared by Isakson & Associates Inc., date stamped February 13, 2008; and Variance Setback Analysis, Site Plan, Floor Plan, Cross Section, and Architectural Elevations, prepared by Robert C. Kendall & Associates, date stamped February 13, 2008.

SPR 2008 01-08.sr1



Location Map
APN 119-040-036
APN 119-040-037

EXHIBIT A

**PARCEL MAP
809-98**

A PORTION OF THE NORTHEAST 1/4 OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 1 WEST,

CITY OF CLAYTON
CENTRA COSTA COUNTY, CALIFORNIA

ISAACSON & ASSOCIATES INC. - CIVIL ENGINEERING & LAND SURVEYING
JANUARY 2000
2275 VERANO VALLEY ROAD, SUITE C - WALNUT CREEK, CALIFORNIA

BASIS OF BEARINGS: POLAR MONUMENTS BEARING MEASUREMENT BETWEEN MONUMENTS IN DOUGLAS COUNTY, AS SHOWN ON SUBMISSION NO. 379-03 (112 PM 33) AND IS BASED ON THE CALIFORNIA COORDINATE SYSTEM TIME 1983.

LEGEND

* FOUND SURFACE MONUMENT, R.C.E. 2178A.
 * FOUND SURFACE MONUMENT, AS NOTED.
 * SET SURFACE MONUMENT, R.C.E. 2178A.
 * SET 1/2" REBAR AND PLASTIC CAP, R.C.E. 2178A.
 * SET NAIL AND TAG IN CONCRETE, R.C.E. 2178A.
 (T) TOTAL MONUMENT TO MONUMENT
 (N-M) BOUNDARY
 (R-M) BOUNDARY
 < > RECORD FOR 88 N 42
 < > RECORD FOR 101 PM 21

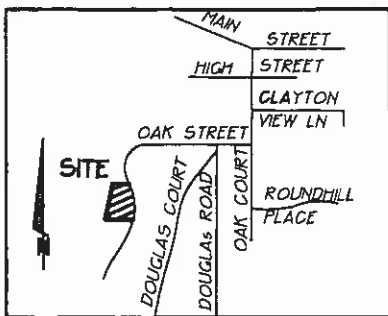
EASEMENTS NOT DEFINED OF RECORD:
217 OR 308 - GREAT WESTERN POWER COMPANY
(POWER LINE)

SHEET 2 OF 2

180-31

0999 AFN: 119-040-018

EXHIBIT B



VICINITY MAP

N.T.S.

LEGEND

POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
TRANSFER PARCEL

MS 378-83
112-PM-33
HEMSTALK
12078 OR 663
S89°53'05"E
339.85'

CL 50' ROAD AND PUBLIC
UTILITY EASEMENT TO JOHNSON
(4363 OR 809) AND C.C.C.
WATER DISTRICT EASEMENT
(7812 OR 983) PER 180 PM 30

PARCEL 'A'

60,951 S.F.
1.399 AC.

NEW
ADJUSTED
LOT LINE

S63°33'42"W
26.84'

N89°53'05"W
119.25'

N75°15'40"W
47.53'

N89°53'05"W
50.00'

LOT LINE
BEING
DELETED

12'

POB TRANSFER
PARCEL

POC TRANSFER
PARCEL

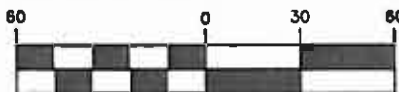
PARCEL 'B'

42,260 S.F.
0.970 AC.

POB PCL 'B'

N89°53'05"W
279.60'

GONZALEZ
15054 OR 914
MS 376-83



SCALE 1" = 60'



LOT LINE ADJUSTMENT

PARCEL A. 180 PM 30 (APN 119-040-036)

PARCEL B. 180 PM 30 (APN 119-040-037)

ISAKSON & ASSOCIATES INC.

2255 YGNACIO VALLEY ROAD, SUITE C WALNUT CREEK, CA. 94598-3335
PHONE (925) 937-9333 FAX (925) 937-7926

PARCEL MAP WAIVER

CHECKED BY: DOI

DRAWN BY: EAL

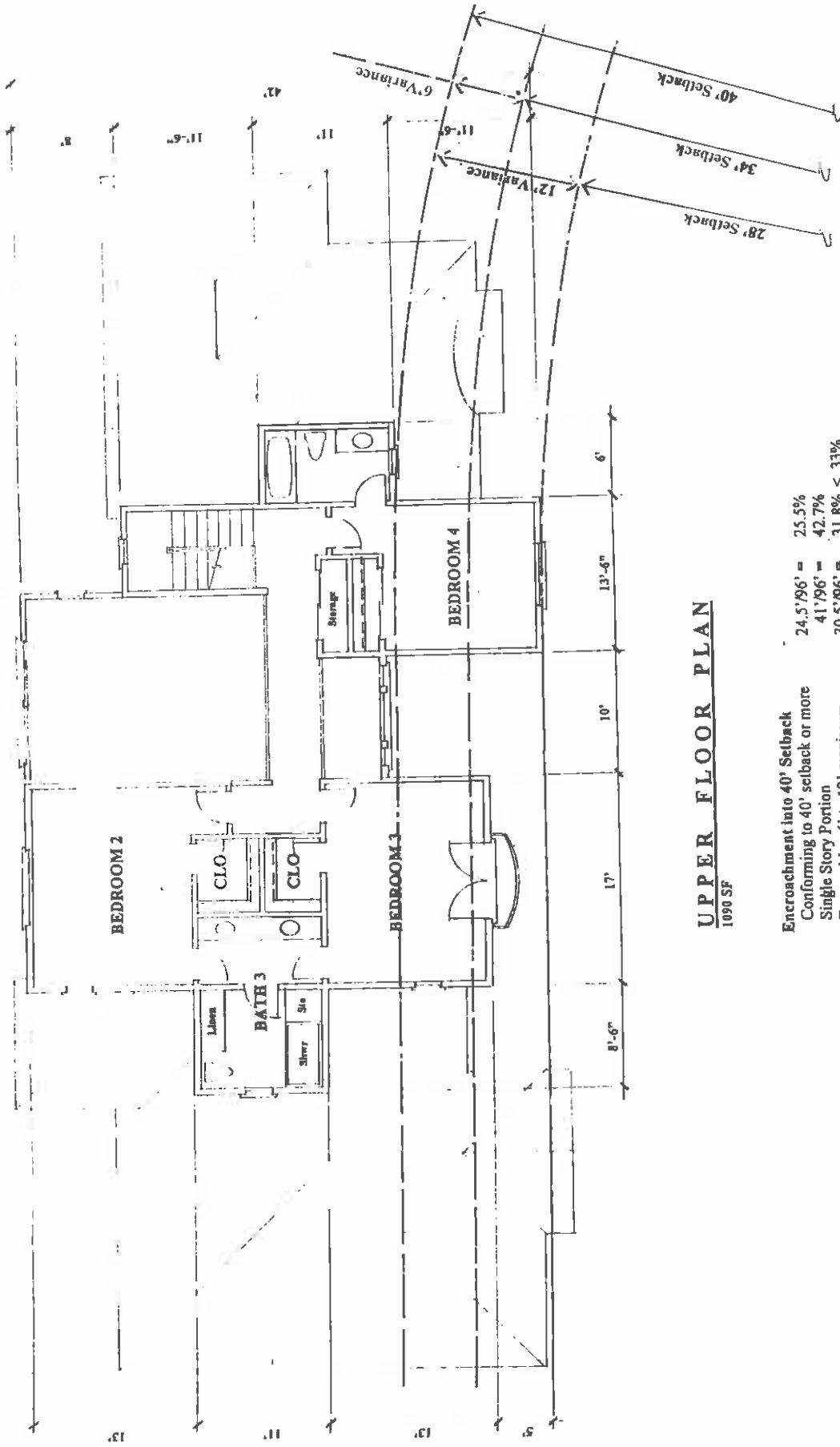
JOB NO. 200804

SCALE: 1"=60'

DATE: 01/22/08

SHEET 1 OF 1

EXHIBIT C



UPPER FLOOR PLAN

1090 SF

Encroachment into 40' Setback	24.5'/96' =	25.5%
Conforming to 40' setback or more	41'/96' =	42.7%
Single Story Portion	30.5'/96' =	31.8% < 33%
Encroaching 6' to 12' maximum		

DOI: 10.1002/for



CASPAR RESIDENCE
1500 N. CLAYTON, CA

2

BOUNDARY & TOPOGRAPHY

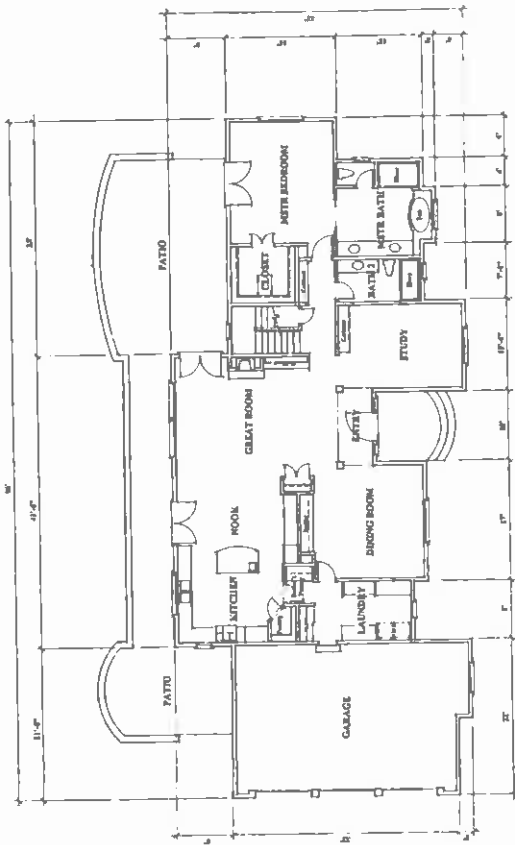
CLAYTON	945 OAK ST	CALIFORNIA
	CONTRA COSTA COUNTY	

Isakson & Assoc., Inc.

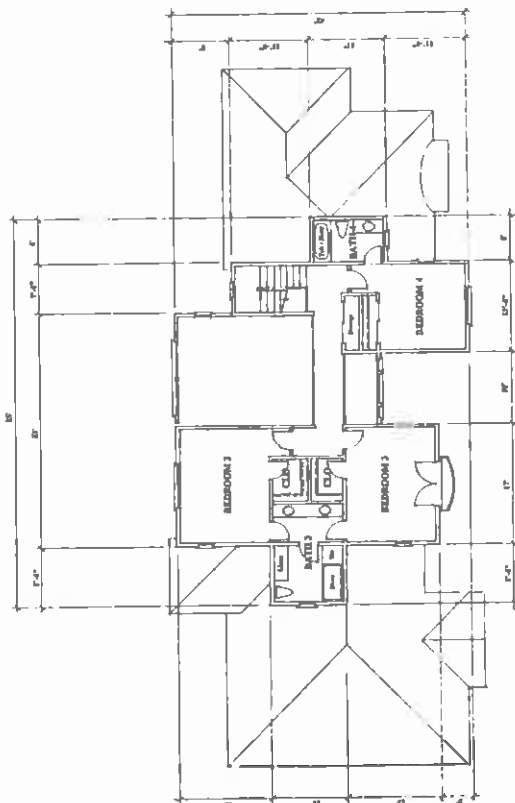
Q **civil
engineering**
**land
surveying**

7-5	100	9449	UNIT 1 OF 1
100	100	100	100

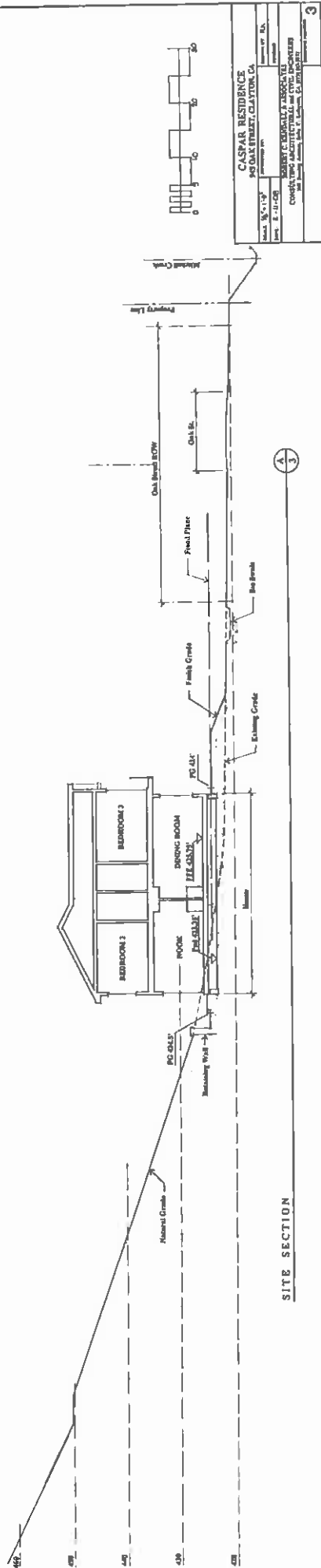
100



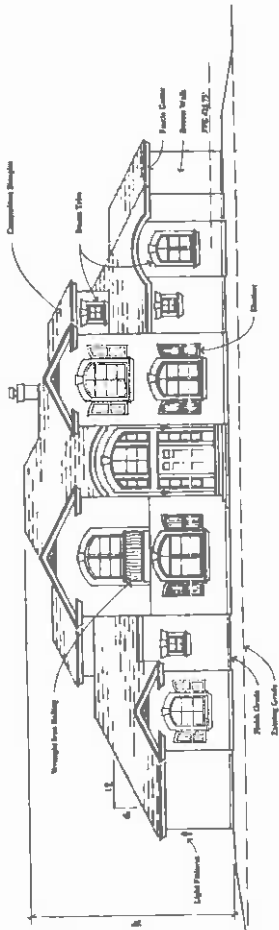
MAIN FLOOR PLAN



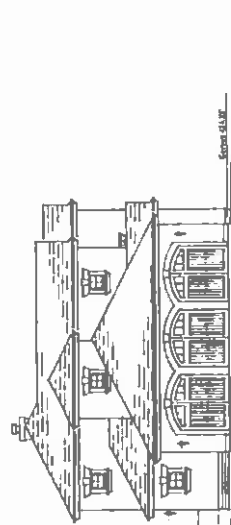
UPPER FLOOR PLAN



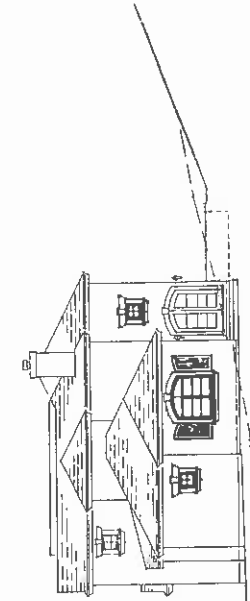
CASPAR RESIDENCE	
3000 W. 10TH AVE., CLAYTON, CA	
Scale: 1/8" = 1'-0"	Drawn by: [Signature]
Date: 8-11-08	Checked by: [Signature]
CONSTRUCTION DOCUMENTS	
SHEET NO. 1 OF 2	
3	



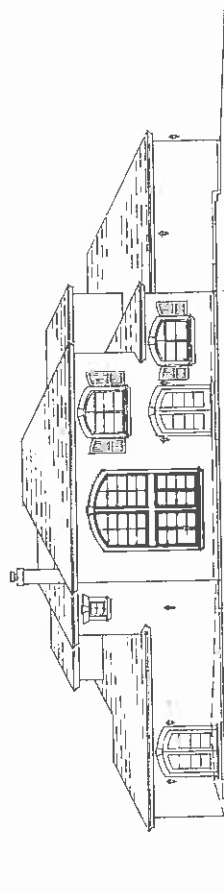
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



CASPARY RESIDENCE	
1000 S. 10TH AVE., CLAYTON, CA	
DATE: 11-11-08	PROJECT NO: 08
DESIGNER: C. CASPARY & ASSOCIATES	CONTRACT NO: 08-001
CONTRACT NO: 08-001	
1000 S. 10TH AVE., CLAYTON, CA 94520	
4	

PLANNING COMMISSION STAFF REPORT

Meeting Date: March 11, 2008

From: Milan J. Sikela, Jr. 
Assistant Planner

Subject: The Rivulet Mixed Use Project
(DP 01-08)

This staff report supplements the staff report dated February 26, 2008.

BACKGROUND AND ARCHITECTURAL ANALYSIS

On February 26, 2008, the Planning Commission reviewed the architecture for the Rivulet project—a two-story mixed-use commercial/residential building proposed on the west side of Oak Street between Center Street and High Street. The Commission directed the applicant to provide the following modifications to the plans. Commission direction is provided in *italics* and staff comments are provided in standard typeface.

- ▶ *Add a cantilevered trellis along the top of the first story of the Oak Street elevation of the garage.*

The applicant has provided the following modifications to the High Street and Oak Street elevations near the southeast corner of the project (see **Exhibit E, Sheets E-1 and E-2**):

- Added a cantilevered trellis along the top of the first story of the Oak Street elevation of the garage.
- Added flower boxes beneath the second-story windows on the central tower of the High Street elevation.
- Lowered the belly-band separating the first- and second-story elements.

Staff notes that the addition of the trellis and flower boxes provide softening of the stark southeastern facade. Furthermore, lowering of the belly-band between the first and second story lends a more human scale to the garage door areas along High Street. At the direction of the Commission, staff can provide a condition that these modifications be included on the construction plans submitted for building permit issuance.

- ▶ *Add windows with lintels and bars on the Oak Street elevation of the garage.*

Further modifications to the High Street and Oak Street elevations near the southeast corner include:

- Added two recessed windows with bars on the Oak Street elevation of the garage.
- Added lintels above all windows (that do not have awnings) and garage doors.

Staff notes that the addition of the two recessed windows break-up the masonry facing on the Oak Street elevation of the garage. The lintels above the windows and garage doors enhance the visual interest for the southeastern corner. At the direction of the Commission, staff can provide a condition that these modifications be included on the construction plans submitted for building permit issuance.

Regarding the bars on the two garage windows, staff acknowledges the desire to have a quaint (e.g. “whimsical”) feature related to a historical aspect of the site. However, this desire should be balanced with a perception which might falsely convey that a security concern exists in the Town Center. Staff notes that the recessing of the garage windows along with the addition of the trellis and lentils appear to adequately address concerns that visual interest should be added to the southeastern corner.

- ▶ *Add enhanced architectural treatment on the second story unit at the southeastern corner.*

Notwithstanding the added visual interest components, staff has concerns that the exterior of the second-story unit retains a modular quality of design that is utilitarian, sparse, and somewhat out-of-character. The Commission may wish to re-visit this issue and provide direction to the applicant.

Other Renderings

The applicant has also provided a conceptual southeastern elevation with landscaping (see **Exhibit E, Sheet E-3**) as well as an Oak Street elevation and northeastern view with Endeavor Hall in the foreground (see **Exhibit E, Sheet E-4**).

Revised Materials Sample Board

The revised materials sample board showing the modified exterior colors and materials will be provided at the March 11, 2008 Planning Commission meeting. Since a revised materials sample board is not available at the time of the writing of this report, staff would like to bring the following points to the Commission’s attention:

- ▶ The siding on the two balcony elements on the Oak Street elevation has been modified from stucco to horizontal siding.
- ▶ The colors and materials shown on the renderings do not accurately reflect the actual colors and materials proposed for the project. As noted above, the applicant will provide a revised colors and materials board at the March 11, 2008 Commission meeting.

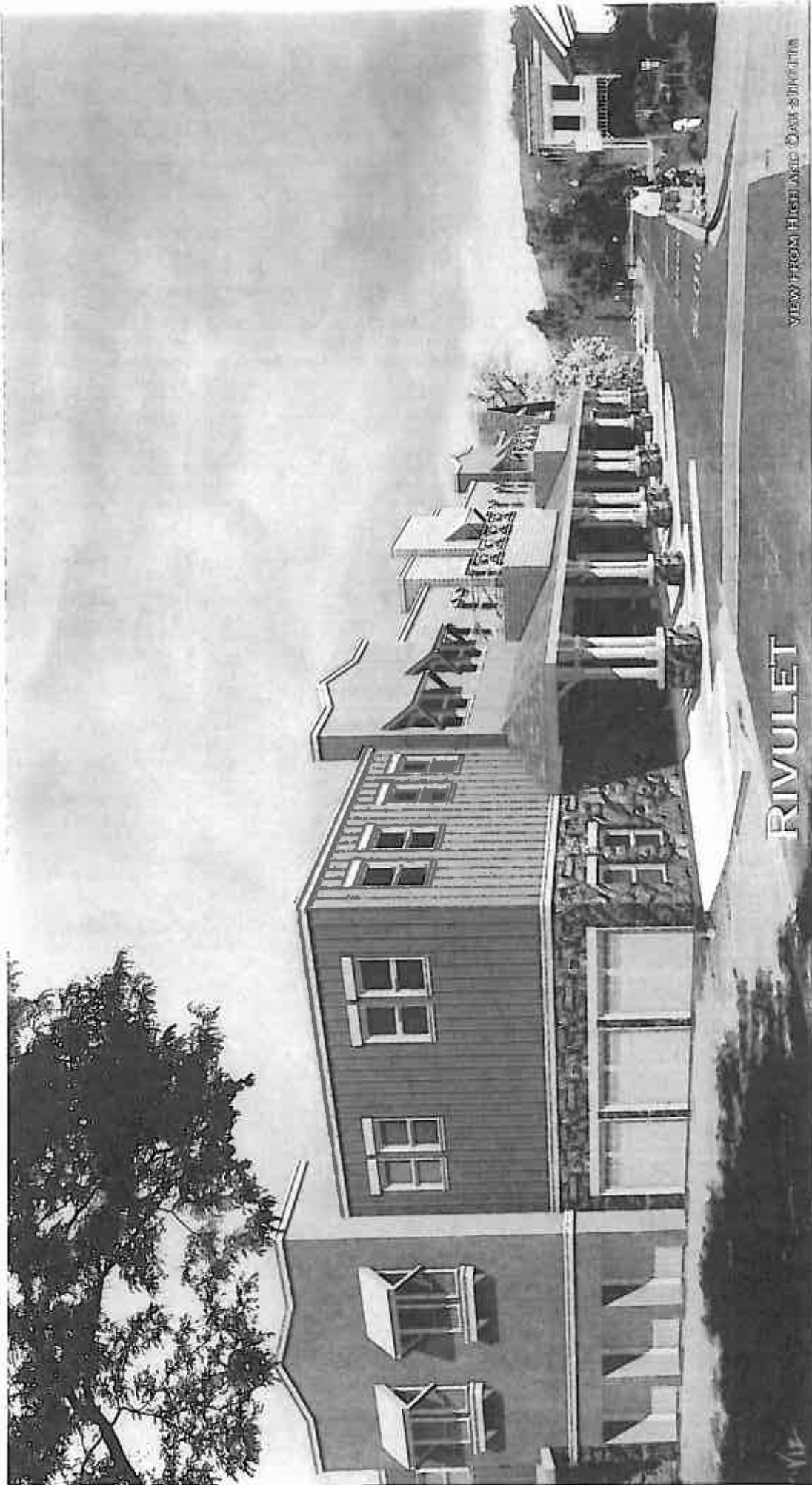
RECOMMENDATION

Staff recommends that the Commission review the proposal, provide direction, and continue the public hearing to the next meeting on March 26, 2008.

EXHIBIT

E 3-D Renderings of the Rivulet, submitted by the applicant, date stamped March 6, 2008

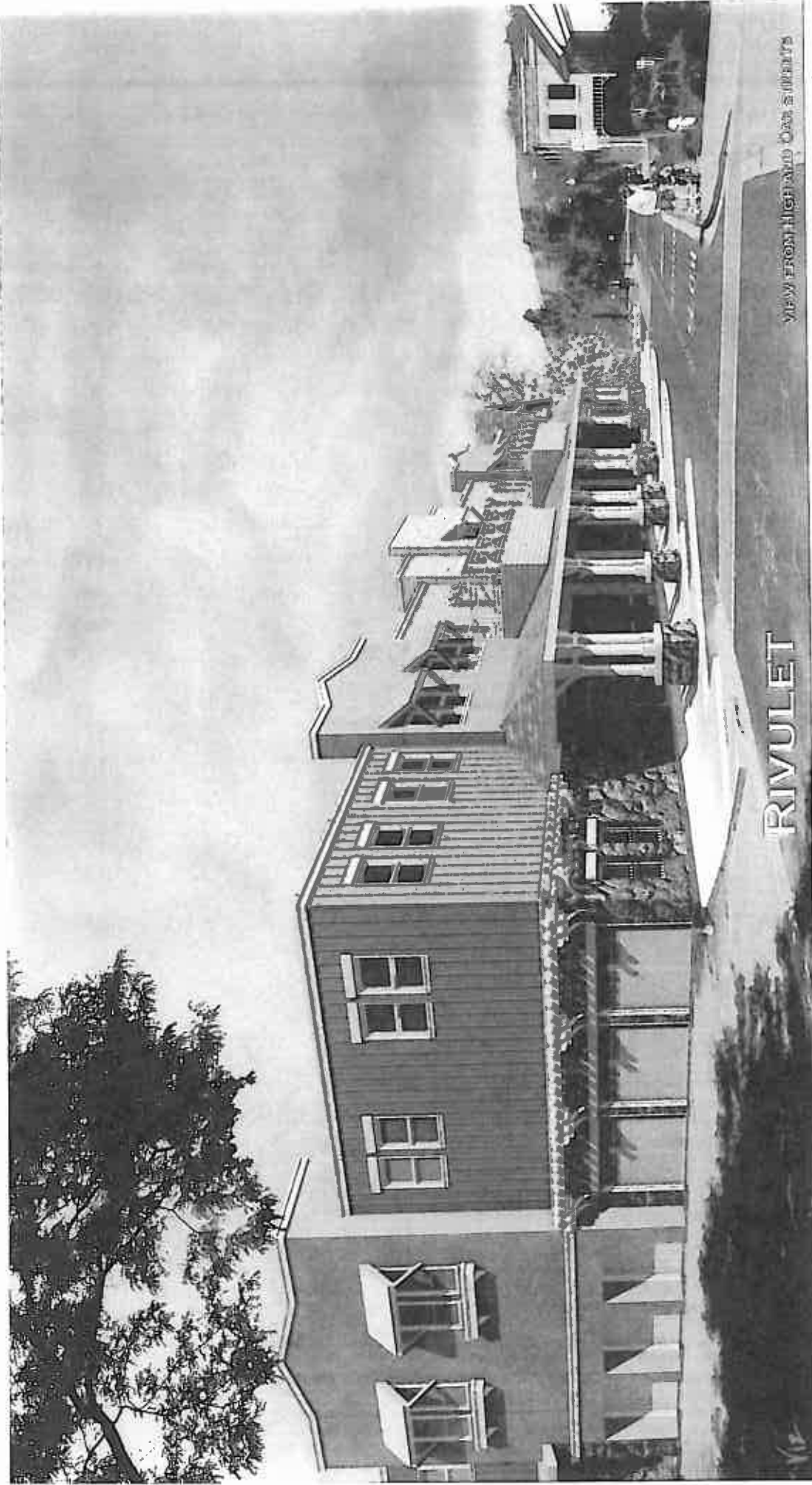
DP\2008\01-08.sr-3

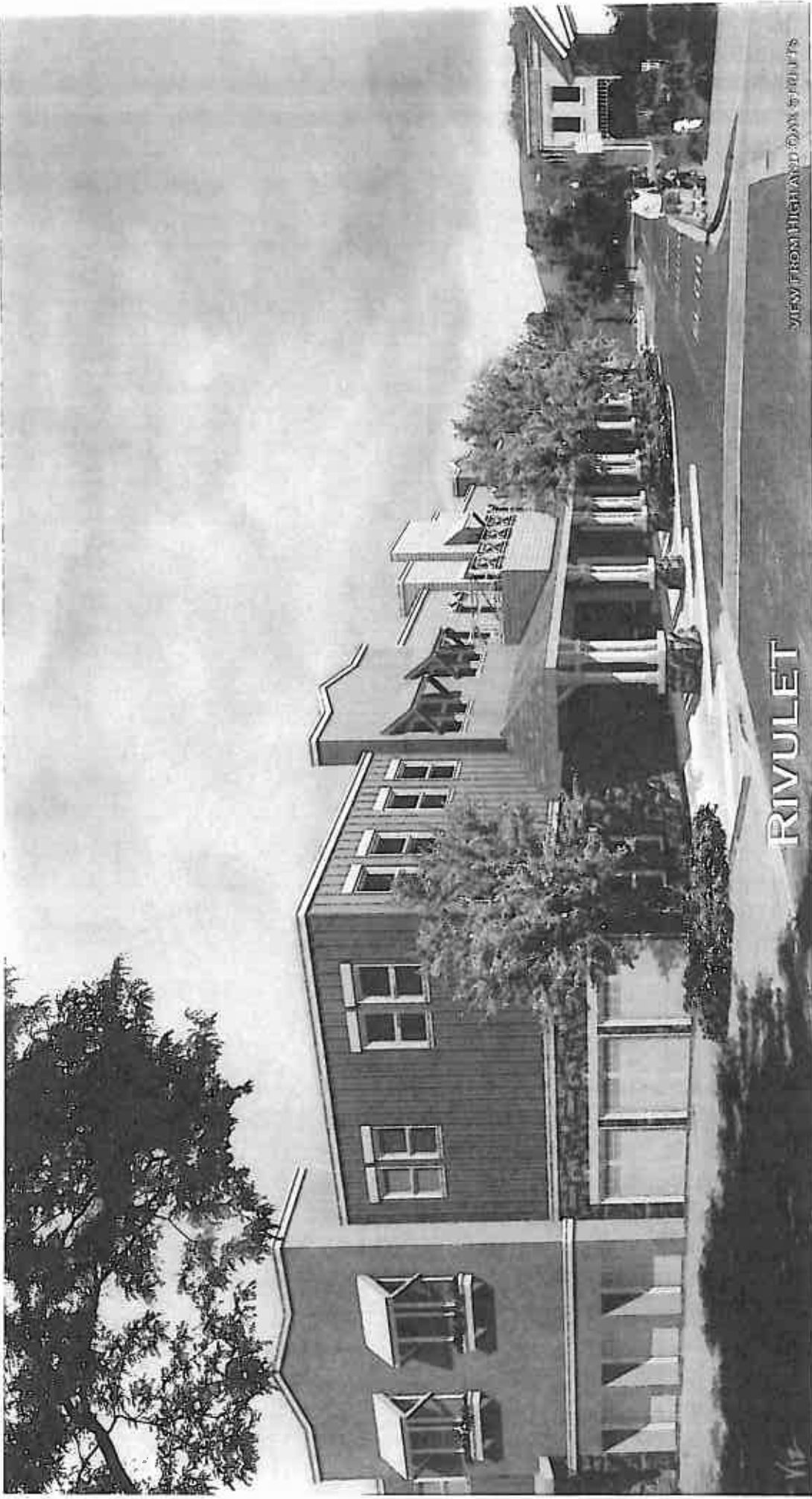


APPLICANT PROPOSED SOLUTION

E-1

EXHIBIT E
(4 PAGES)



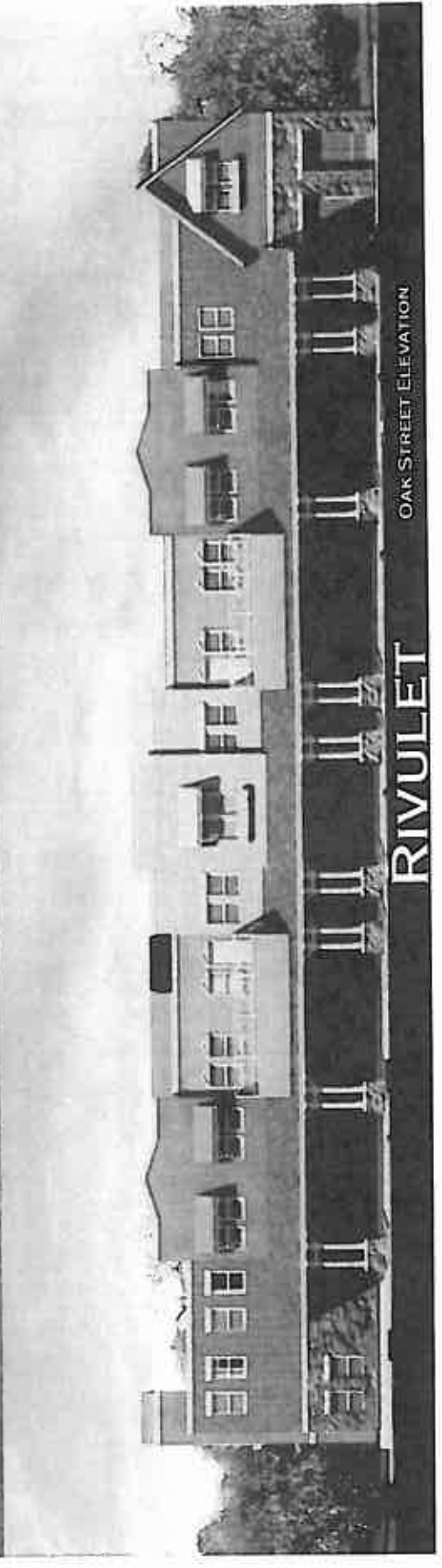


POSSIBLE LANDSCAPING SOLUTION

E-3



VIEW FROM CENTER OF OAK STREET



OAK STREET ELEVATION

RIVULET

PLANNING COMMISSION STAFF REPORT

Meeting Date: March 11, 2008

From: Jeremy Graves, Community Development Director 

Subject: Town Center Specific Plan Update (SPA 01-07)
Chapter 4 (Urban Design)

DISCUSSION

At the Planning Commission meeting on February 11, 2008, staff was directed to make several modifications of Chapter 4 (Urban Design) of the *Town Center Specific Plan (TCSP)*. Staff has completed those modifications and attached the revised chapter (see **Exhibits A and B**). At the February 11th meeting the Commission expressed interest in postponing approval of a resolution recommending City Council approval of the revised Urban Design chapter pending continued Planning Commission review of the remaining chapters of the *TCSP* (e.g., circulation, municipal services). With the upcoming transition to an interim community development director, it is likely that work on the remaining chapters will be delayed while staff efforts are focused on the Rivulet mixed use project (DP 01-08). In addition, some of the proposed wording changes in the Urban Design chapter are necessary for approval of the Rivulet project. For example, the current wording of the Urban Design chapter states,

Buildings over 50 feet in width are permitted if function necessitates, as in the case of a supermarket, but in such instances should be limited to 150 feet along a public street.

In order to accommodate more intense development such as the Rivulet project (with a 200-foot building width), the revised wording of the Urban Design chapter is proposed to state,

Buildings over 50 feet in width are permitted if function necessitates, but in such instances should be limited to 200 feet along a public street.

In order for the City Council to make a finding that the Rivulet project is consistent with the *TCSP*, the *TCSP* will need to be amended to include revised wording addressing the above building width issue. As a result, staff recommends that the Commission proceed with finalizing its review of the Urban Design chapter and recommend City Council approval of a revised Urban Design chapter. Staff has prepared a draft resolution for Commission consideration.

RECOMMENDATIONS

Staff recommends that the Planning Commission take the following actions:

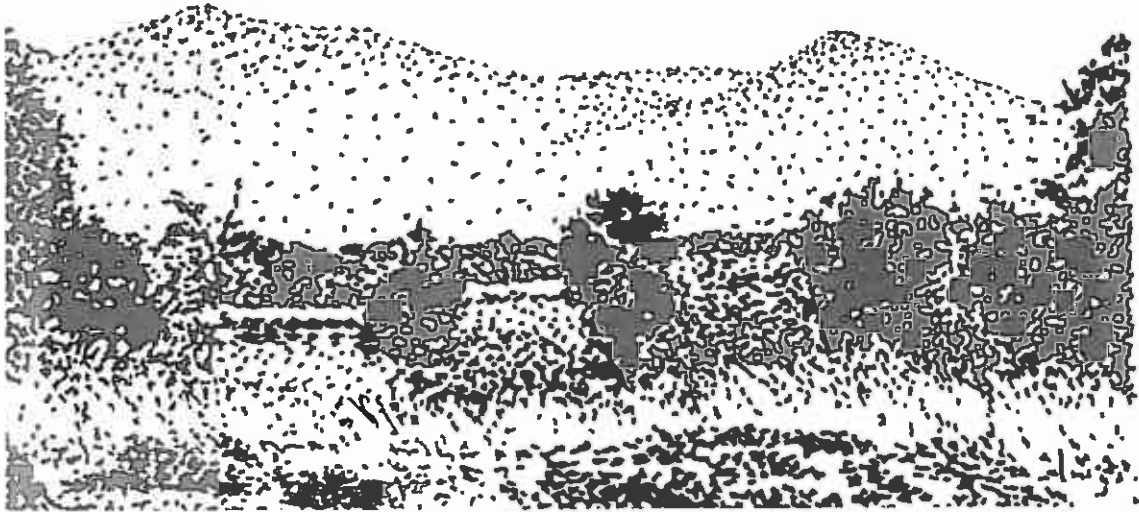
- Review Chapter 4 (Urban Design) and make any appropriate modifications (see **Exhibit A**);
- Approve Resolution 03-08, which recommends City Council approval of an amendment of Chapter 4 (Urban Design) of the *Town Center Specific Plan* (see **Exhibit C**); and
- Continue the public hearing on the Town Center Specific Plan Update (SPA 01-07) to the next regular Planning Commission meeting on March 25, 2008.

EXHIBITS

- A Chapter 4 (Urban Design), Proposed Version – Clean Copy (Revised February 12, 2008)
- B Chapter 4 (Urban Design), Proposed Version – Mark-Up Copy (Revised February 12, 2008)
- C Planning Commission Resolution 03-08 (draft)

SPA 2007 01-07-sr-12

CHAPTER 4. URBAN DESIGN



4.1 INTRODUCTION

Clayton Town Center's extraordinary natural setting, rich history and architectural heritage are a strong source of identity and value to the community. Citizens have strong feelings about preserving the Town Center's existing character while welcoming its expansion to provide needed commercial services and shopping. The purpose of this Urban Design chapter is to provide clear guidelines for the Town Center's future development pattern, architecture, and landscape design, so that new development retains and strengthens the existing Town Center character.

(Amended by Resolution 65-98, dated 12-1-98)

All development proposals in the Specific Plan Planning Area are subject to design review by the City. The Design Guidelines in this chapter are the criteria used in the evaluation of development proposals. Developers and their designers are urged to carefully review the Design Guidelines as part of their site planning and building design process.

Design review is a comprehensive evaluation of those characteristics of a development which have an impact on neighboring properties and the community as a whole. The process makes a careful examination of a project's creativity, concept, and quality of site planning, architecture, landscape design, and important details such as signage and lighting. The purpose is to insure that every new development or additions to existing development carefully consider the community context in which they take place. Every project should make a conscientious effort to develop a compatible relationship to the natural setting, neighboring properties, and community design goals.

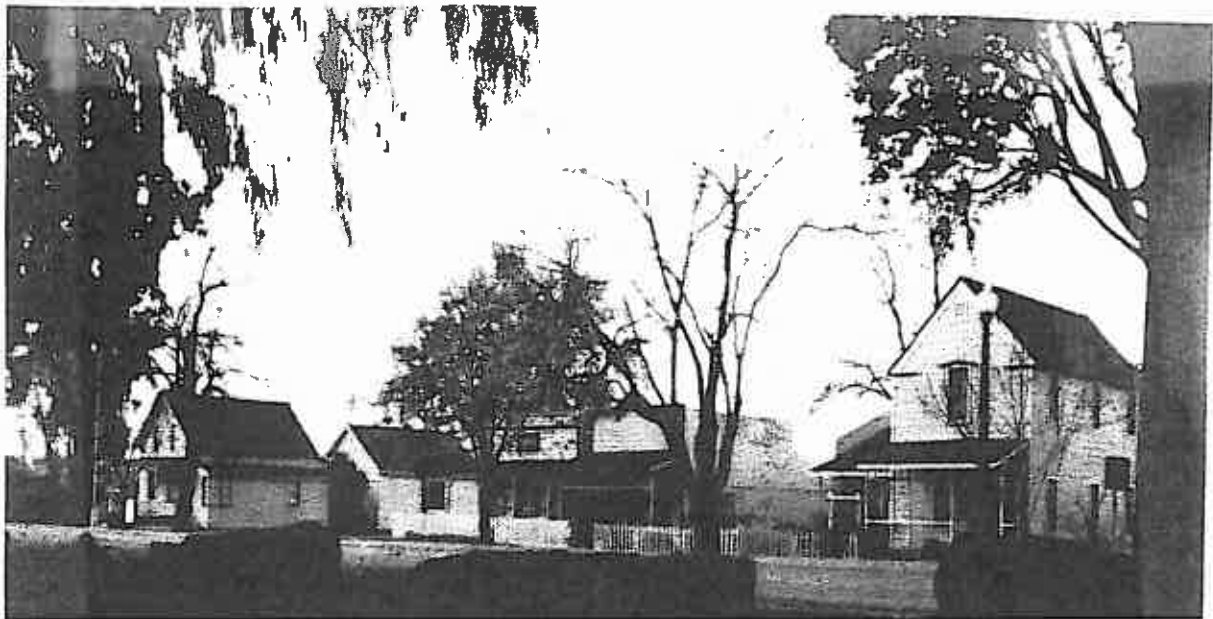
4.2 KEY DESIGN ELEMENTS OF TOWN CENTER

The Town Center has a unique western character that results from the relationship between its natural setting, grid street pattern, and old west architecture. These elements work together to create a distinct town "image."

CLEAN COPY - EXHIBIT A

Clayton's Town Center began with a few houses and stores built along the small grid of streets laid out by Joel Clayton in 1857. He envisioned a prosperous community at the foot of Mt. Diablo, in an area of great beauty and agricultural wealth, central to the surrounding mines. As the town grew, miners came to enjoy the social clubs, saloons, and stores. Clayton's boom ended when competition from mines in Oregon and Washington and the increased costs and difficulty of mining proved too great. Farmers growing grapes, wheat and other crops sustained Clayton's economy, but it never again flourished as it had during the mining boom. Clayton remained a small and reasonably stable agricultural community. From that time to the present it has retained much the same character. A handful of buildings remain to continue its tradition as a western town.

Main Street, with the Clayton Historical Museum (the former Clayton-Pape House) and the Clayton Club as well as Center Street with the re-furbished and expanded Endeavor Hall serve as sentinels of the Town Center. These buildings exhibit the different ages, styles, and cultural mix that accompanied settlement and growth in Clayton.



NATURAL SETTING

Clayton's surrounding landscape forms one of the most spectacular natural settings in the San Francisco Bay region. The community is laid out in the Clayton Valley and nestled between the ranges formed by Mt. Diablo, Eagle Peak, Twin Peaks and Mt. Zion to the south, and Keller Ridge-Kirker Pass to the north-northeast. The Town Center has the distinct feel of a western town carefully placed in the valley, given strong natural definition by both foreground and distant hills. Views and outlooks to the neighboring peaks and ridges bring the perception of the surrounding rugged landscape directly into the Town Center.

One of the most dramatic features of the Town Center is its western entrance from Clayton Road. The combination of the abrupt descent and dense tree cover creates a strong sense of entering a special world separated from the surrounding suburban landscape. Other strong natural boundaries on the north and south give the Town Center clear definition along three of its four

edges. Although the Town Center's topography is relatively level, the following subtle elevation changes within the setting are important:

- The Mitchell Creek and Diablo Creek embankments;
- The gentle knoll east of and above Diablo Creek; and
- The knoll south of Center Street, between Diablo and Morris Streets.

TOWN CENTER STREET GRID

The existing Town Center's street grid forms small blocks that range from 200 to 350 feet on a side. The grid contrasts with the curved patterns of rural roads and residential subdivisions of the Clayton area, and helps distinguish the Town Center from neighboring districts. The small block pattern gives the Town Center an intimate scale that pedestrians appreciate, and creates an extra number of corner buildings and sites with high visibility. Occasionally, the street grid is interrupted by topographical features, as the hill south of Center and Morris Streets, increasing one's awareness of the natural setting.

HISTORIC BUILDINGS AND STRUCTURES

The Town Center's history is recorded in the few remaining structures built before the turn of the 20th century. New development should recognize, respect, preserve, and be compatible with the historic buildings and mature plantings in the existing Town Center. A building exhibiting historic character from the period in which it was built can substantially contribute to the character of a new development. The following buildings in the Town Center have been recognized for their historical status:

- The DeMartini Winery (City Hall) is listed on the National Register of Historic Places;
- Endeavor Hall received a Governor's Historic Preservation Award; and
- Keller Ranch House is listed on the California Register of Historical Resources

Other buildings and sites in the Town Center may have historic or architectural significance to the City, County, or state.

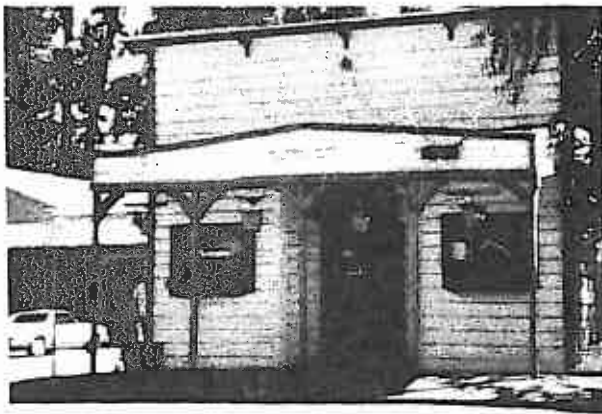


BUILDING-STREET EDGES

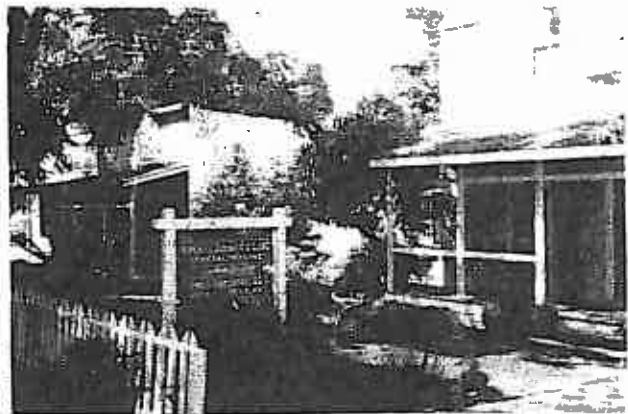
The older buildings of the Town Center form three *desirable* relationships of buildings to streets:

- Building with a front porch located at the sidewalk (Clayton Club);
- Courtyard or patio between the building and street (Clayton Historical Society Museum, restaurant on Main Street); and
- Building located on the front property line (commercial building at Main and Diablo Streets).

Each of these examples creates a strong pedestrian connection between building fronts and streets common to older downtowns.



Building with Front Porch



Front Courtyard on Main Street

COURTYARDS AND OPEN SPACES

The quilt-like pattern of alternating buildings and courtyards, organized by the grid of streets and individual lot lines, creates a spaciousness throughout the Town Center and allows through-block outlooks to the surrounding natural landscape. Mature trees define and shade the open spaces, creating a dense canopy over most of the setting, further emphasizing its special character apart from the surrounding open valleys and hills.

ARCHITECTURE

The Town Center's modest wood frame buildings develop a local vernacular with a genuine sense of antiquity and history. Horizontal wood siding, foundations of local stone, and other natural materials are combined in carpenter-built small structures with moderate-to-steep pitched roofs, frequent emphasis of porches and other protected outdoor spaces, roof overhangs and eaves, and orderly use of window openings. Several styles can be found ranging from the western false front of the Clayton Club to the rural vernacular of the Clayton-Pape House and Endeavor Hall. Many of the details recall "Craftsman," "Victorian," and other styles.

4.3 GOALS AND POLICIES

Goal I **Establish an attractive and vibrant Town Center with buildings, public spaces, and amenities designed to incorporate architectural and cultural features reminiscent of ~~from~~ Clayton's history.**

Policy I-1 *Maintain consistent design standards for street and sidewalk spaces throughout the Town Center. Sidewalk paving, curbs, street tree planting, and street furniture should be carefully coordinated and maintained as integrating visual elements.*

Policy I-2 *Maintain strong architectural standards to develop continuity between old and new buildings in the Town Center.*

Goal II **Emphasize the Town Center as the focus of community life in Clayton, integrating civic, cultural, shopping, residential, and recreational functions into a multi-use district.**

Policy II-1 *Create public places in the Town Center where residents can meet informally.*

Policy II-2 *Emphasize "The Grove" as a focus for civic and community events as well as a destination for residents and visitors.*

Policy II-3 *Emphasize the Town Center's character as a place for pedestrian enjoyment, following the traditional building-to-street relationship of older downtowns. Buildings should be located at the front of properties near the sidewalk, with active, well-scaled frontages that create pedestrian interest. Parking lots should be located to the rear of buildings, well-planted and screened from street view.*

Goal III **Maintain sites in the Town Center containing buildings and structures of local historical significance.**

Policy III-1 *Consider national and state historic designations for qualifying sites and buildings.*

Policy III-2 *Adopt a City historic preservation ordinance which includes provisions for conservation easements on historic buildings.*

Policy III-3 *Preserve the DeMartini Winery (City Hall,) Keller Ranch House, Endeavor Hall, Clayton-Pape House (Historical Society Museum) buildings.*

Goal IV **Integrate and maintain the Town Center's natural creeks, mature native trees, and landscape features into new development as a means to provide open space.**

Policy IV-1 *Preserve Mitchell Creek and Diablo Creek in their natural settings as important features and open space amenities of the Town Center.*

Policy IV-2 Implement strong design standards to retain existing healthy, mature native trees and other natural features in new development.

Policy IV-3 Provide and maintain direct pedestrian linkages between the Town Center and the regional trail system.

Policy IV-4 Retain and promote the Town Center's existing opportunities for outlooks to the surrounding foothills by requiring courtyards or other open spaces in each new development.

Goal V Create and maintain a compact downtown setting which emphasizes a high-quality pedestrian experience.

Policy V-1 Promote site and architectural designs which are pedestrian friendly and enhance the pedestrian experience.

Policy V-2 Encourage development of multiple-story buildings with ground-level retail stores and eateries, and upper-floor residential units.

Policy V-3 Apply the Design Guidelines in the design review of all new development proposals and additions to or alteration of existing structures.

Goal VI Encourage the development of physical elements which enhance the Town Center's downtown character.

Policy IV-1 Require underground utilities in all new development.

Policy IV-2 Maintain strong controls on commercial signage, including illuminated signs.

Policy IV-3 Maintain strong standards on the location of parking lots, service areas, dumpsters, and mechanical equipment.

4.4 DESIGN GUIDELINES

These design guidelines are intended to be more than suggestions, but less than absolute requirements. This approach allows for some creativity and flexibility in meeting the intent of the guidelines.

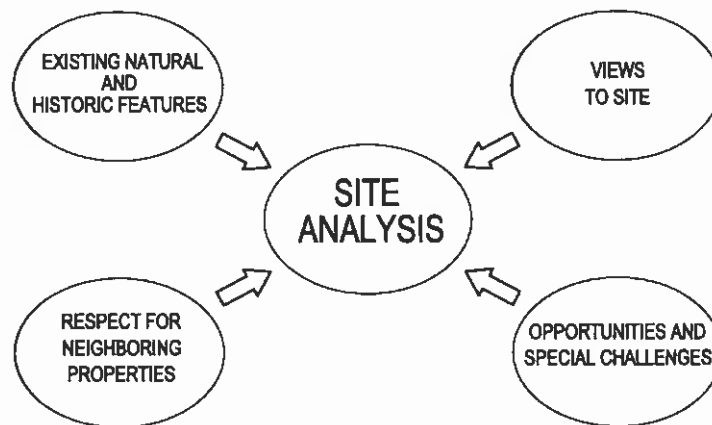
Recognizing that the guidelines offer a variety of ways to meet Town Center design objectives, the Planning Commission and the City Council have final authority to approve or deny a building design or proposed use based on whether the project as proposed meets these design guidelines.

4.4.1 SITE DESIGN

The quality of site design is the most important measure of a project's impact on the community and will be given first priority in the review of development proposals. Projects should demonstrate sensitivity to both the natural setting and to the neighborhood context. A project should also contribute to the *Specific Plan's* urban design goals and policies.

SITE ANALYSIS

Each development proposal should include a thorough analysis of existing conditions on and adjacent to the site. A proper analysis will include a careful examination of a site's physical properties, amenities, special challenges, constraints, , and character, and an examination of the neighboring environment. The analysis will assist the developer in evaluating the proposed development's relationship to existing conditions, neighboring properties, and the community at large.



Site Analysis Considerations

GENERAL SITE DESIGN CRITERIA

- Demonstrate an overall design integrity and a serious effort to contribute to the beauty and harmony of the community.
- Develop compatible relationships to the land forms, building placement, and existing open spaces of neighboring properties.
- Respect the existing views, privacy, quiet, and sun and light exposure of neighboring properties.
- When conditions require a project to be different from its neighbors, provide a transition from existing to new development by careful placement and massing of buildings, well-designed planting patterns, and other means.
- Maintain vistas of surrounding hills and natural features.

PRESERVATION OF NATURAL FEATURES

Development proposals should demonstrate an effort to retain significant existing natural features characteristic of the community's landscape. Existing topography and land forms, drainage courses, vegetation, and views should be recorded in the Site Analysis and incorporated, to the maximum extent feasible, into the future development of the site.

MATURE TREES

- All mature healthy trees should be retained when feasible. This will require careful judgment weighing the value and hierarchy of all natural features, the size and species of the tree, and the proposed landscape plan for the site.
- Existing oaks over eight inches in diameter are considered significant resources which should be preserved.

TOPOGRAPHY

- Demonstrate an effort to minimize grading and alteration of natural landforms. Grading will be allowed to the extent necessary to fit the buildings into the natural land forms.
- Minimize potential problems created by building in areas of excessive slope, soil with poor bearing capacity, slide potential, flood plain, or other hazards.
- Building pads should retain natural contours as much as possible. Balancing of cut and fill areas is encouraged.

DRAINAGE

- Minimize potential surface drainage problems on neighboring properties, and provide adequate drainage on-site for each parcel.
- Natural drainage courses are to be preserved as closely as possible to their natural location and appearance. "Dry stream" effects which move the water over the property should be used instead of channeling or undergrounding methods, unless no other alternative to channeling exists.

CULTURAL RESOURCES ASSESSMENT

- A cultural resources assessment shall be conducted by a qualified expert (approved by the Community Development Director) prior to development of every developed parcel which contains over 10,000 square feet of undeveloped area, as well as every vacant parcel.

(Added by Resolution No. 02-2007, dated 1/16/2007)

PRESERVATION OF HISTORIC BUILDINGS AND RESOURCES

- The following steps can be taken to determine if a building or site is eligible for a historical designation:
 - *Contact the Clayton Historical Society and local historical preservation organizations for information.*
 - *Research to establish the validity of the building or site's historic role.*
 - *Nominate the building or site for historic designation by the City, County, state, if it merits the designation.*
 - *Incorporate the historical resources on the site into any new development.*

- New buildings which are built on the same site as, or adjacent to, buildings of historic character, should be designed to be respectful of the older buildings. Without mimicking the older buildings, new structures should consider the compatibility of details, materials, textures, colors, and landscape features.
- New buildings or building additions must demonstrate, to the satisfaction of the City, that impacts on adjacent historic structures have been mitigated.
- The State of California Historic Building Code should be used in place of local building codes in the case of qualifying historic structures.

RELATIONSHIP TO EXISTING DEVELOPMENT

All development proposals should show evidence of harmony with neighboring properties through their site planning, arrangement of building forms, and landscape design. The degree to which neighboring properties and buildings must be considered in the design of a new project will depend on the value, architectural quality, and estimated tenure of improvements on the neighboring property, as well as the particular requirements of the new project.

Project plans should take into account any important features of adjacent sites. Existing features should be shown in sufficient detail to enable evaluation of the relationship of the proposed development to its context. Eye level perspective photo-simulations or sketches of the proposed project and its immediate neighbors, as seen from the street, sidewalk, or other public place are encouraged.

- The site organization should compliment the arrangement of buildings, open spaces, and landscape patterns on adjacent properties. When possible, buildings should be located for mutual advantage of shared open spaces, sunlight, circulation, parking, and views. Landscape features on adjacent properties should be compatible.
- When feasible, new development should be linked to adjacent properties by common circulation areas for pedestrians and vehicles. The method of shared circulation, parking, or walkways will vary depending on the specific site conditions. When no development exists on adjacent properties, give consideration to how the sites can develop common circulation linkages in the future.
- The design of new buildings and additions should be take into account the scale, in height and width, of surrounding buildings.
- Buildings of different size, form and materials can relate to each other through the use of common proportions, window and story heights, belt courses, porches, building bases, and other elements in a pattern that relates to neighboring buildings.

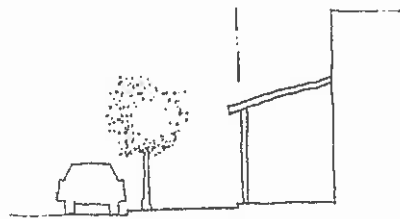
INTERNAL SITE DESIGN

- Buildings and open spaces should be situated to take advantage of the spaces between buildings as opportunities for outdoor activities, as transitions between indoors and outdoors, and as potential points of “focus” on the site.

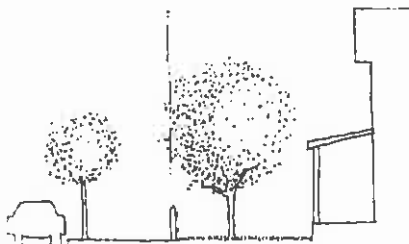
- Buildings and building groups should form compact clusters to economize in the use of land and create larger open spaces on the site.
- Pedestrian circulation should be designed to enable convenient and attractive access from parking areas to destinations.
- The site plan and landscaping plan should consider climatic conditions to provide shade from summer sun, natural ventilation, and other measures to maximize energy efficiency and human comfort.

4.4.2 BUILDING-STREET EDGE

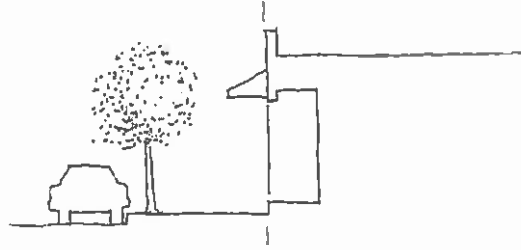
The *building-street edge* relationship is an important consideration in planning a building site. In order to sufficiently achieve the *Specific Plan*'s objective of creating a high-quality pedestrian environment, buildings should be located close to the front property line and sidewalk, with frontages designed to maximize pedestrian interest. The intent is to follow traditional patterns of the Town Center layout, developing a consistency between the new and older parts of the Town Center. The following *building-street edges* are desired:



- Continuous building edge with continuous porch along the sidewalk.



- Yard or courtyard fronting the street. A low wall or decorative fence may be used to define the front property line, or the yard may be open to the sidewalk with a pedestrian area between the sidewalk and building. The pedestrian area could develop into small courtyards with planting and benches.



- Building entrance and building wall built up to the front property line.
- Buildings should work within this vocabulary of street setback patterns. Building location and plan form should strive for a compatibility of setback pattern on each block.
- Every building should have a street-facing entrance. If a side or rear entrance is used, it should be accompanied by a street-facing entrance.
- Prohibit parking between the front elevation of the building and the street. Avoid placing of shrubs or other plants that create a visual barrier between the building and street.
- Building fronts should be parallel to the street. Avoid buildings whose primary mass is sited at an oblique angle to the street.
- In buildings with retail space at the ground level, the vertical elevation of the ground level should be located as close as possible to the vertical elevation of the public sidewalk in front of the building. Avoid an elevated ground level that separates the building from the sidewalk. (This guideline is not applicable where there is a significant change in existing grade between the building and sidewalk, nor is it applicable when it is necessary to elevate the building ground level above a flood plane elevation.)

4.4.3 COURTYARDS

The existing pattern of informal courtyard spaces is an important part of the character of the Town Center that should be continued in new development. Courtyards provide spaces for outdoor activities, shaded protection from the sun, and transitions from streets to the interiors of buildings.

The use of courtyards to save existing trees and other natural features is encouraged. The following courtyard characteristics are desirable:

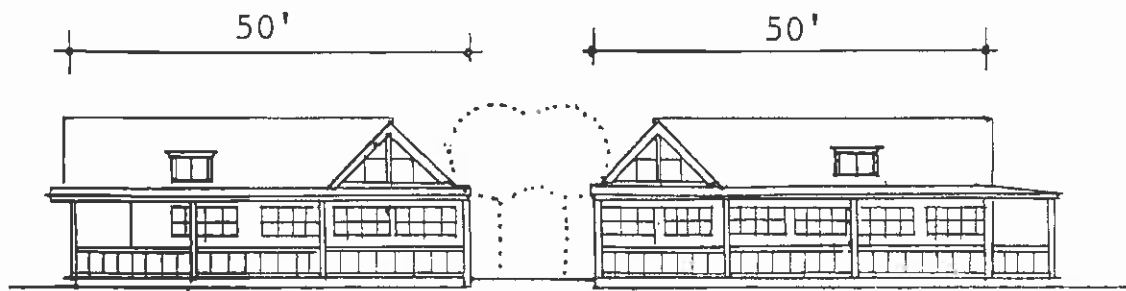
- When a front courtyard is used in a commercial building, it should maintain a strong pedestrian connection between the building and street.
- Front courtyards defined with low stone walls or low picket fences at the front property line are encouraged. A pedestrian entry to the building from the front sidewalk through the courtyard should be provided.
- The use of low planting beds, trees, low shrubs, flowers, and small lawn areas is encouraged.

- Trees should be scaled and located to provide shade for pedestrians and to create a canopy for the front sidewalk space.
- Shared or individual courtyards are encouraged to provide pedestrian connections from rear parking areas to the street frontage and building entrances.
- Arbor structures with vines and flowers (in courtyards and between buildings) are a good way to link buildings and define exterior spaces with planted canopies while newly planted trees mature.

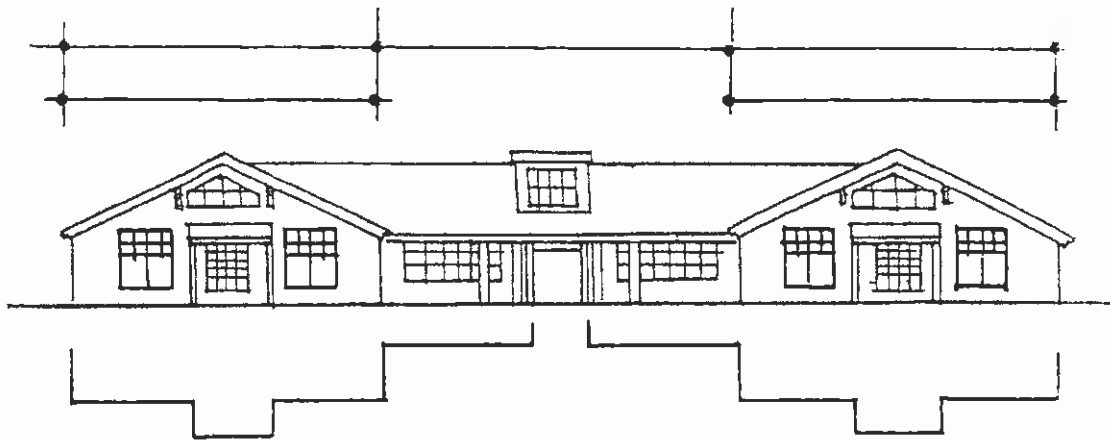
4.4.4 ARCHITECTURAL CHARACTER

SIZE AND BULK

- New buildings in the Town Center are encouraged to have multi-story elements. This increase in development intensity will distinguish the retail and commercial nature of the Town Center from Clayton's residential neighborhoods.
- Building heights in the Town Center shall not exceed forty (40) feet.
(Amended by Resolution No. 02-2007, dated 1/16/2007)
- In order to continue the Town Center's detailed building scale and fine grain character, building widths of 50 feet or less on principal streets are encouraged. Buildings over 50 feet in width are permitted if function necessitates, but in such instances should be limited to 200 feet along a public street. Aggregation of several shop frontages into a single building is permitted with enhanced articulation and variety in design to provide the appearance of individual frontages.



- When a building width must be greater than 50 feet, its elevation must be divided into smaller parts by one or more of the following methods:
 - *A change of plane in the form of a projection or recess. A change of plane at the ground level should be accompanied by a change of plane at the eave or roof. The change of plane must be at least 5 feet in depth.*



- *Clearly-articulated storefront bays of approximately 30 feet width or less, with exact bay dimensions determined by carefully-studied proportions.*
- *Differing designs and/or building materials to provide the appearance of individual storefronts.*



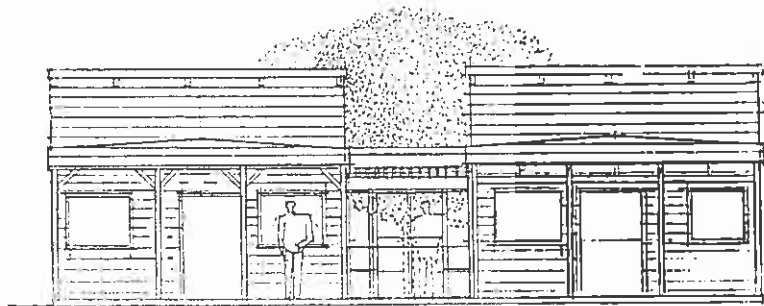
ROOF FORMS

- Medium- to steep-gabled roof forms at pitches of 5:12 to 12:12 are encouraged, as is occasional use of dormers and shed roofs to add detail and scale. Roof pitches may be less in the case of large buildings.
- False fronts elements on buildings are allowed.
- Gabled roofs should have a small overhang at both eaves and rakes. Eaves usually have a fascia board that covers the ends of the roof joists. Rakes have a trim board that covers the last roof joist. The overhanging rake may be supported by beam extensions and a variety of brackets to give additional detail where the wall meets the roof.
- Avoid flat roofs that require built-up roofing materials, except in areas which are fully screened by facades or sloped roofs.

- Rooftop mechanical equipment should be avoided, except when no other feasible solution exists. When such equipment must be used, it should be minimized and fully screened from view from streets, adjacent properties, and pedestrian-oriented areas.

PORCHES

- The frequent use of porches is an important characteristic of older buildings in the Town Center. A porch is a sheltered entrance and may be open or closed to make an outdoor room or other protected space. Porches are encouraged as a means of providing transitions between indoors and outdoors. They add visual interest to a building by providing shade, shadow, and a sense of depth. A porch can give a building its character and may often be the dominant element of a building elevation.



BUILDING BASES

- Buildings should meet the ground with a base relating to human size, or a detail that articulates the building from the ground plane. A base of ground-related material, such as exposed stone facing, is encouraged.



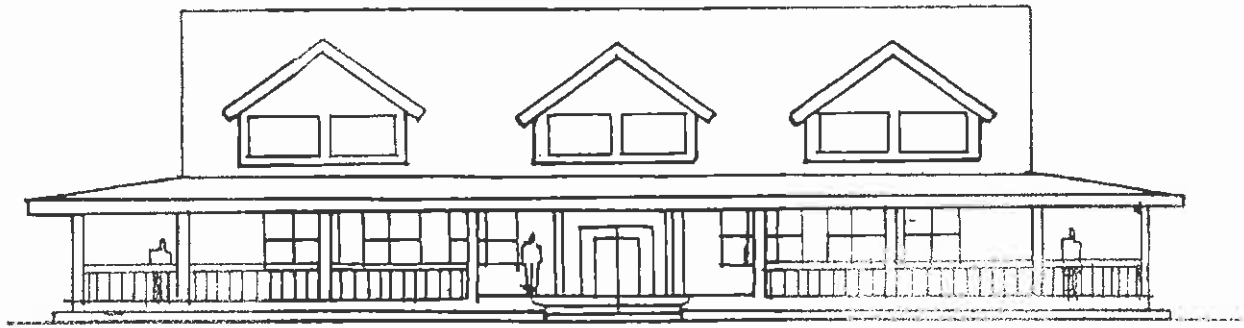
Keller Ranch House

WINDOW OPENINGS

- Except at shopfront locations, the area of solid building wall should be greater than the area of window openings. Small window openings, or grouped windows, are preferred over larger openings.
- Large glazed areas should be avoided. When storefront windows are used, they should be divided by mullions into smaller elements, preferably less than 25 square feet each. Muntins are encouraged to further divide the window into smaller panes.
- Windows should be recessed to produce strong shadow lines.
- Two-story buildings should avoid vertical windows over a single story in height. Window openings less than six feet in vertical dimension are preferred.

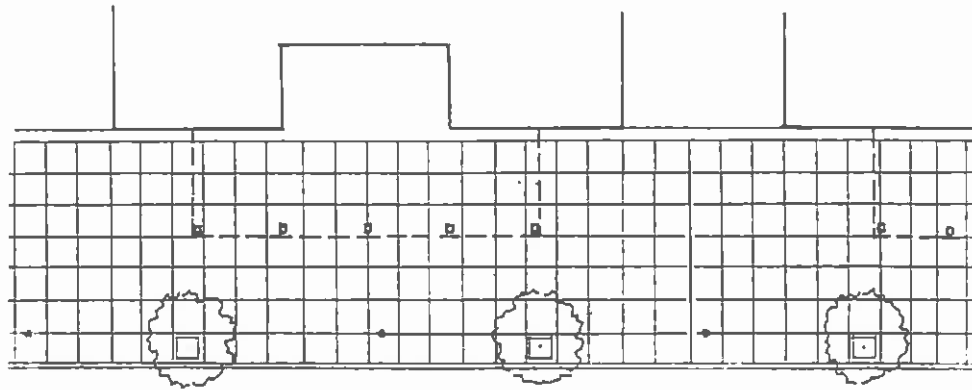
SCALE, PROPORTION, AND RHYTHM

- Scale describes a relationship of building parts to human size, to other building parts, or to a group of buildings.
 - *Porches, dormers, recessed entrances, and eaves are encouraged to scale parts of the building to human size.*

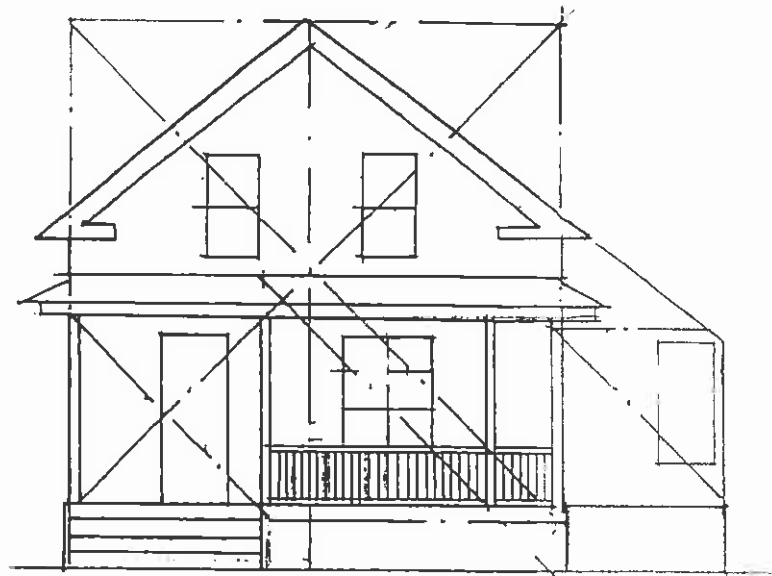


- *Along street frontages and in yards and courtyards, building elements at ground level should be kept to human size with relatively small parts. Exposed wood beams, columns, porches, exterior stairs, railings, trim, and other details are encouraged.*

- *Walkways and other paved areas near buildings should be divided into smaller parts. Paved areas should be interspersed with trees or other planting.*

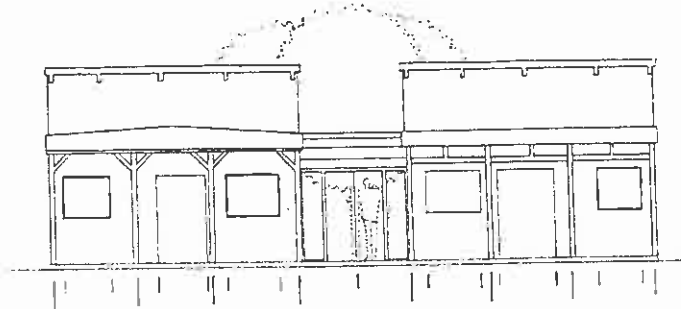


- Proportion is tied to scale. It describes divisional relations of line, area, and volume.
 - *Building facades should have a carefully-studied, pleasing, proportional relationship of width to height.*
 - *Building parts, recesses, window and door openings, and details should relate to an overall system of proportions within the facade.*



Clayton-Pape House -- 6101 Main Street

- The use of rhythm as an ingredient of composition is tied to the careful use of repetitive spatial or structural parts to give an underlying order. This order can then be interrupted or varied. It is helpful to have some basic order of repetitive parts be apparent, though subtle, so that significant variations have importance.



- Patterns of light and shadow give buildings depth and substance. Offsets, projections, overhangs, and recesses all may be used to produce effective shadow interest areas. Long unbroken expanses of wall or facade should be avoided along street frontages and corners.

BUILDING MATERIALS, TEXTURE, AND COLOR

Color selection should show evidence of coordination with the predominant colors on neighboring buildings.

Encouraged Materials

- Exterior walls
 - *Stone or stone veneer*
 - *Brick or brick veneer*
 - *Natural stone or brick facing (or approved equivalent) at foundations*
 - *Horizontal wood siding*
- Roofs
 - *Composition shingles (with heavy butts) in earth-tone colors*
 - *Wood shingles, if treated for fire resistance*
 - *Concrete shingles of earth-tone color*
 - *Metal ribbed roofing (weathered metals and earth-tone colors preferred)*
- Details
 - *Painted or stained timber beams and columns*

Acceptable Materials

- Exterior Walls
 - *Stucco with smooth finish on side and rear facades which do not face streets*
 - *Wood shingles*
 - *Vertical wood siding*
- Roofs
 - *Clay roof tiles in earth-tone colors*

Un-Acceptable Materials

- Exterior Walls
 - *Stucco on facades which face streets. Exception: Stucco with smooth finish may be allowed on facades which face streets in unique circumstances with approval by the Planning Commission or City Council.*
 - *Stucco with skip-trowel finish*
 - *Exposed concrete masonry, including split-face block*
 - *High contrast or brightly colored exterior wall material*
 - *Glass covering more than 30% of a building's exterior surface area*
 - *Glass curtain walls*
 - *Highly reflective or mirrored glass*
- Roofs
 - *High contrast or bright colors*
 - *Galvanized sheet metal*
 - *Built-up roofing, except for small areas*
 - *Highly reflective or shiny materials*

PAVING MATERIALS FOR PEDESTRIAN AREAS AND WALKWAYS

Encouraged Materials

- *Concrete with textured finish matching the wood board-stamped finish used on the public sidewalks*
- *Tile, earth-tones with non-slip surfaces*
- *Crushed granite and earth-tone gravel*

Discouraged Materials

- *Asphalt in areas adjacent to public streets and other high visibility areas. Asphalt is permitted in rear walkways solely leading to service areas.*
- *Brightly-colored tiles*
- *Materials with a hazardous surface when wet, or materials which act as an impediment to handicapped persons*

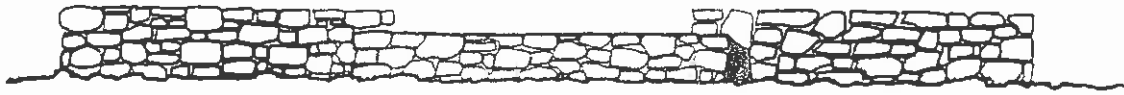
WALLS AND FENCES

- Walls and fences should be designed to be compatible with the surrounding landscape and architectural character of the building.
- Solid walls on primary elevations abutting public streets and sidewalks should be limited to three feet in height. Solid walls in other locations may be higher and should be accompanied by a minimum 24-inch planted edge on each side, except on the interior of service areas.
- Masonry walls should be capped with trim caps.

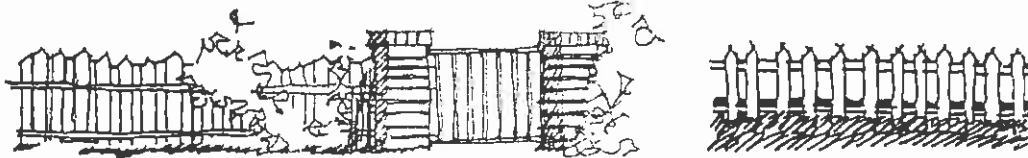
Encouraged Materials

- *Stone and stone veneer*
- *Wood picket, rail, or split-rail fences*

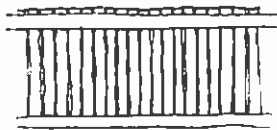
Stone Wall



Traditional Wood Picket Fence



Horizontal Rail Fencing Painted to Match Trim of Main Building



Acceptable Materials

- *Common brick and brick veneer*
- *Cement plaster with smooth finish over concrete masonry units*
- *Wood fences with historical or western character*
- *Precast concrete with stone facing*

Unacceptable Materials

- *Chain link or open wire*
- *Corrugated metal*
- *Cement plaster over wood frame*
- *Plastic or thin wood lath*
- *Bamboo or grass reed*

ACCESSORY STRUCTURES

All accessory structures should be designed to reflect the scale and style of the architecture of the principal building. Arbors, storage spaces, and other ancillary structures should be located and designed to respect the views and other special conditions of adjacent properties.

4.4.5 LANDSCAPE CHARACTER

The landscape concept is to continue the spirit and atmosphere of the old Town Center, while allowing for some influence of contemporary landscaping ideas. The plants and landscape patterns recommended are conservative in nature, in order to maintain the continuity and tradition of the old part of the Town Center.

- Existing trees should be preserved when possible. Site plans must demonstrate that a diligent effort has been made to retain important existing natural features.
- Plant selection should recognize the importance of water conservation and emphasize plant species that require low water use.
 - *Large expanses of turf grasses are discouraged, except in parks or other active areas.*
- All site areas not used for buildings, pedestrian areas, parking, or other designated functions shall be planted.
 - *Bare ground is not allowed since it creates dust in the summer and mud in the winter.*
- All landscaped areas should have an automatic underground irrigation system.
- Trees should be selected for size and form, in relation to other nearby trees and buildings.

MINIMUM PLANTING REQUIREMENTS

The following minimum area planting requirements shall be observed. Existing trees and shrubs that are retained may count toward planting requirements. New planting requirements may be further adjusted to reflect the size and density of existing trees and shrubs.

LANDSCAPED OPEN SPACE

- At least twenty (20) percent of each site of one acre or more must be landscaped open space. Sites less than one acre must provide at least ten (10) percent landscaped open space.

(Amended by Resolution No. 02-2007, dated 1/16/2007)

- *Paved pedestrian areas (e.g., sidewalks, patios, and courtyards) or balconies open to the public may be counted toward this requirement.*
- *Internal parking lot landscaped areas may not be counted toward this requirement.*
- All areas counted toward the landscaped open space requirement must provide the following:
 - *One tree per 300 square feet of the total required landscaped area. Trees shall be 24-inch box size, minimum.*
 - *Shrubs, ground cover, decomposed granite, or paved pedestrian areas must cover all remaining required landscaped open space.*

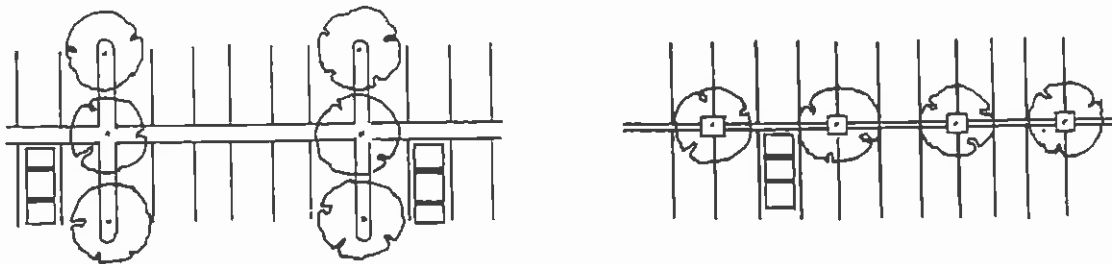
PARKING AREAS

- **Parking Lot Perimeters**

- *Off-street parking lots should be visually screened from street view by planting or a combination of planting and low fences. A continuous screen at least 36 inches high should be formed by the wall or planting. If shrubs are used to create this screen, the shrubs should be a minimum of 36 inches in height after two years growth. Space shrubs in massed plantings so that branches intertwine after two years average growth. Open wood fences may be used, but only in combination with vegetation to fully screen the parking area from view.*
- *Planted perimeter areas must be at least five feet deep along public streets and interior property lines. Provide at least one tree (minimum 24-inch box size) per 150 square feet of perimeter area between the property line edge and the parking lot.*

- **Internal Parking Lot Planting**

- *Off-street parking lots should include internal planting to develop tree canopies that soften the visual impact of the lots and provide relief from heat build-up. For all parking lots greater than 6,000 square feet, an internal area at least 10 percent of the total parking area should be planted with a combination of trees and shrubs. A minimum of one tree (minimum 24-inch box) for every three parking spaces must be evenly distributed throughout the parking lot with the purpose of providing shade coverage by tree canopies over fifty percent of the parking lot within fifteen years of building permit issuance. Trees planted in perimeter areas shall be credited toward this standard.*



4.4.6 OFF-STREET PARKING AREAS

- A clear on-site circulation plan should be provided for automobiles, pedestrians, and service vehicles.
- Off-street parking should be located behind buildings, not in front of buildings. A less desirable solution, but acceptable when special conditions exist, is to locate parking on the non-street-side side of buildings.
- Driveway access points should be located on streets to ensure safe access and allow smooth pedestrian flow. In order to enhance the pedestrian experience along the street frontages, the number of driveway openings to streets should be minimized. Driveways should be shared and designed to serve multiple properties to the maximum extent feasible in order to minimize the number of curb cuts on streets.

- Design pedestrian circulation to enable convenient and attractive access from parking areas to destinations.
- Existing mature trees should be retained and integrated into the layout of parking areas.
- Parking lots should be set back at least five feet from the face of a building.

4.4.7 SITE LIGHTING

GENERAL REQUIREMENTS

- The City's historical street light fixtures shall be used in all projects
- Limit the amount and intensity of lighting to that necessary for safety, security and to compliment architectural character. Lighting is not permitted which would spill onto—or interfere with the character of—the surrounding neighborhood.
- Lighting which is visible from adjacent properties or roads must be indirect or incorporate full shield cut-offs.
- Service area lighting should be designed to avoid spill-over into adjacent areas.

PARKING AREA LIGHTING

- For commercial parking areas, overhead lighting should be mounted at a maximum height of 15 feet above the paved surface.
- For residential parking areas, overhead lighting should be mounted at a maximum height of 10 feet. The placement of lighting in residential parking areas should avoid interference with bedroom windows.

WALKWAY, GARDEN, AND PEDESTRIAN AREA LIGHTING

- Overhead fixtures used for pedestrian areas should be limited to a height of 10 feet, with a minimum of 8 feet vertical clearance.
- Along walkways, low-level lighting fixtures mounted on short posts are encouraged. Shatterproof coverings are recommended. Posts should be located to avoid hazards for pedestrians or vehicles.

4.4.8 BUILDING EQUIPMENT AND SERVICES

- Carefully locate and design building equipment and services to minimize their visual impact on public streets and neighboring properties.
- Refuse and recycling containers as well as outdoor storage areas should be screened from view from public streets, pedestrian areas, and neighboring properties. The screening for refuse and recycling containers should be designed to be compatible with the architectural character of the development and be of durable materials.

- Utility meters, electrical transformers, fire shut-off valves, water risers, and other mechanical and electrical equipment should be located in service, loading, or screened areas. Exterior surface-mounted utility conduit and boxes should be kept to a minimum. Where they do exist, they should be designed, painted, or screened to blend in with the design of the building to which they are attached.
- Mechanical equipment, satellite dishes, communication devices, and other equipment should be fully concealed from view from streets, adjacent properties, and pedestrian-oriented areas.
- Where solar collectors or panels are attached to a building they should be integrated into the architectural design of the building or fully concealed from view from streets, adjacent properties, and pedestrian-oriented areas. Solar collectors or panels which are not attached to a building should be integrated into the landscape design by using berms, natural slopes, or similar devices. All plumbing and storage tanks associated with solar panels should be concealed from view from streets, adjacent properties, and pedestrian-oriented areas.
- Roof-mounted equipment is discouraged. When such equipment is necessary, it should be fully screened from view from streets, adjacent properties, and pedestrian-oriented areas. Special attention should be given to changes in elevation which may provide a view down to a roof. In such cases, the equipment should be enclosed in a screened shelter
- Screening devices (roof-top and at ground level) should include the following elements:
 - *Architectural screens should be an extension of the development's architectural character.*
 - *Screen walls should be constructed of low maintenance and durable materials which are consistent with the main building's materials.*
 - *Landscaping should be used in conjunction with building materials to complement ground level screening devices.*

4.4.9 SIGNS*

GENERAL DESIGN CRITERIA

- All signs should be a minimum size and height to adequately identify a business.
- Signage design should be carefully integrated with site and building design to create a unified appearance for the total property.
- Signs and illumination should be limited to no more than two opposing faces.
- Illumination should be projected onto the sign face. The light source should be fully shielded from view. Internally illuminated plastic signs are prohibited.
- All signs and sign components should be limited to three colors in addition to black and white.

* Signs must also comply with the Sign Provisions (Chapter 15.08) of the Municipal Code.

- Typefaces should be chosen for their simplicity and clarity. Signs on older buildings should use a typeface is consistent with the historic character of the building.
- Sign posts and other structural elements should be made of wood or metal with a white, earth-tone, black, or natural stain finish. Reflective or bright colors are not permitted.
- No sign, other than a sign installed by a public agency, should be placed in the public right-of-way on sidewalks or streets.
- Signs should be carefully located for safety and should not block driveway views of oncoming traffic.
- No signs are allowed above the highest portion of the building.
- A master sign plan shall be designed for projects containing three or more business establishments.

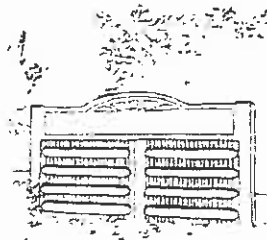
RECOMMENDED SIGN TYPES

- **Awning Valance:** A sign or graphic attached to or printed on an awning's valance.
- **Monument:** A ground sign constructed upon a solid-appearing base or pedestal.
- **Kiosk:** A small freestanding structure which has three or more surfaces.
- **Projecting:** A sign extending from a building face or wall so that the sign face is perpendicular or at an angle to the building face or wall.
- **Suspended:** A sign attached to and located below any permanent eave, roof or canopy.
- **Wall:** A sign not exceeding six inches in thickness that is painted on, attached to, or erected against the wall of a building or structure with the exposed face of the sign parallel to the plane of the wall.
- **Window:** A sign displayed on window glass (including the glass of doors) or within three feet of a window designed to be viewed from the exterior of the window.
- **Pole Sign:** A type of ground sign mounted to or hanging from a pole or similar structure.

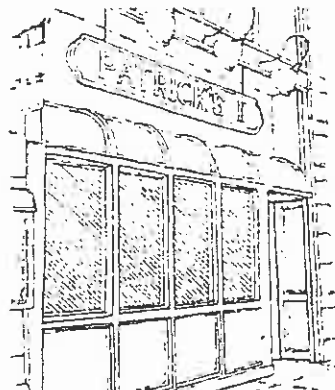
Sign Types



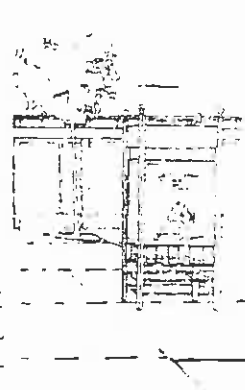
Awning Valance



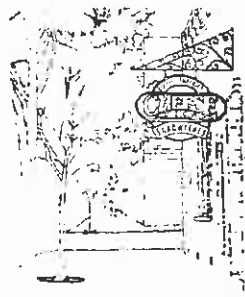
Monument



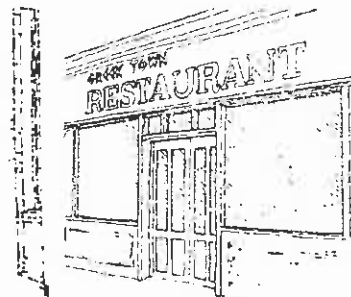
Suspended



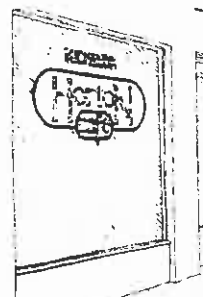
Kiosk



Projecting



Wall



Window



Pole

SIGN AREA AND NUMBER

MAXIMUM LETTER AND SYMBOL HEIGHT

- Eight inches on all sign types except wall and suspended signs, which may be twelve inches in height.
- Sign areas are limited and vary with sign types.
- To calculate the area of a sign, measure:
 - The area of the box or outline which contains the sign, or
 - In the case of unboxed letters or symbols, the area of the smallest rectangle which would enclose all of the letters or symbols.
 - Only one face of a double-faced sign with parallel opposing faces, and bearing identical copy, shall be used in calculating sign area.



Measure The Sign Box



Measure The Imaginary Box

SIGN AREAS ARE LIMITED AND VARY WITH SIGN TYPES.

Maximum permitted sign areas are:

- Awning Valance: 3 square feet.
- Monument: 12 square feet.
- Suspended and Wall: 12 square feet.
- Kiosk: 24 square feet (total of all faces).
- Projecting: 8 square feet.
- Window: 6 square feet (no larger than 25% of the window on which it is displayed).
- Pole: 6 square feet.

Sign area limits for large buildings may be considered on a case-by case basis.

PROPERTIES WITH MORE THAN ONE TENANT

The following number and area of signs are permitted:

- One sign to identify the complex, not to exceed the area limits previously listed, and
- One sign for each individual tenant, to a maximum of 10 square feet, but not to exceed the limits of any sign type listed previously, and
- Up to two building directory signs located at principal pedestrian entrances, each not to exceed 8 square feet.

SIGN HEIGHT LIMITS

The following sign height limits above grade are permitted:

- Awning Valance and Projecting: 10 feet (single-story building); 30 feet (multiple-story building).
- Monument: 3 feet.
- Suspended and Wall: 15 feet.
- Kiosk and Pole: 7 feet.

RESIDENTIAL SIGNS

The following signs are permitted on multi-family residential properties with 12 or more units:

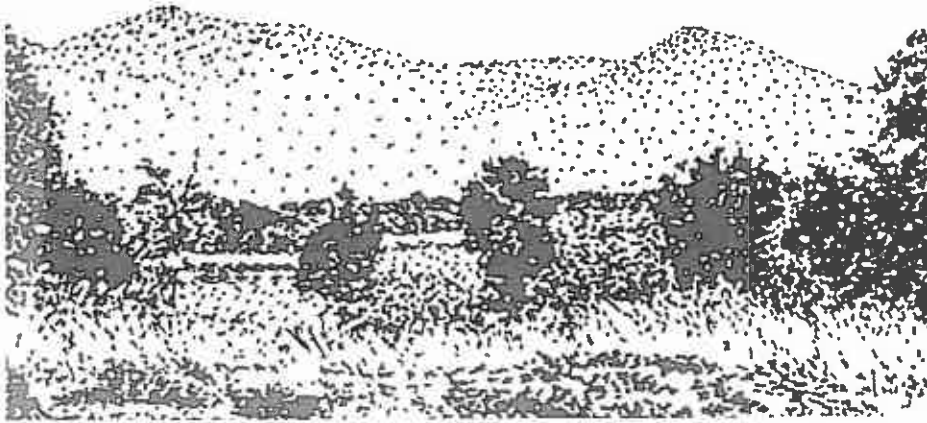
- One monument, pole, or wall sign of 10 square feet or less.

PROHIBITED SIGNS

The following signs are prohibited:

- Roof signs.
- Internally illuminated plastic signs. All plastic signs are strongly discouraged.
- Back-lighted signs which appear to be internally illuminated.
- Portable signs, except as allowed by the Sign Provisions in the *Municipal Code*.
- Signs which cover or interrupt architectural features.
- Off-site signs, except as allowed by the Sign Provisions in the *Municipal Code*.

CHAPTER 4. URBAN DESIGN



4.1 INTRODUCTION

Clayton Town Center's extraordinary natural setting, rich history and architectural heritage are a strong source of identity and value to the community. Citizens have strong feelings about preserving the Town Center's existing character while welcoming its expansion to provide needed commercial services and shopping. The purpose of this Urban Design chapter is to provide clear guidelines for the Town Center's future development pattern, architecture, and landscape design, so that new development retains and strengthens the existing Town Center character.

(Amended by Resolution 65-98, dated 12-1-98)

All development proposals in the Specific Plan Planning Area are subject to design review by the City. The Design Guidelines in this chapter are the criteria used in the evaluation of development proposals. Developers and their designers are urged to carefully review the Design Guidelines as part of their site planning and building design process.

Design review is a comprehensive evaluation of those characteristics of a development which have an impact on neighboring properties and the community as a whole. The process makes a careful examination of a project's creativity, concept, and quality of site planning, architecture, landscape design, and important details such as signage and lighting. The purpose is to insure that every new development or additions to existing development carefully consider the community context in which they take place. Every project should make a conscientious effort to develop a compatible relationship to the natural setting, neighboring properties, and community design goals.

4.2 KEY DESIGN ELEMENTS OF TOWN CENTER

The Town Center has a unique western character that results from the relationship between its natural setting, grid street pattern, and old west architecture. These elements work together to create a distinct town "image."

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(27 PAGES)

Clayton's Town Center began with a few houses and stores built along the small grid of streets laid out by Joel Clayton in 1857. He envisioned a prosperous community at the foot of Mt. Diablo, in an area of great beauty and agricultural wealth, central to the surrounding mines. As the town grew, miners came to enjoy the social clubs, saloons, and stores. Clayton's boom ended when competition from mines in Oregon and Washington and the increased costs and difficulty of mining proved too great. Farmers growing grapes, wheat and other crops sustained Clayton's economy, but it never again flourished as it had during the mining boom. Clayton remained a small and reasonably stable agricultural community. From that time to the present it has retained much the same character. A handful of buildings remain to continue its tradition as a western town.

Main Street, with the Clayton Historical Museum (the former Clayton-Pape House) and the Clayton Club as well as Center Street with the re-furbished and expanded Endeavor Hall serve as sentinels of the Town Center. These buildings exhibit the different ages, styles, and cultural mix that accompanied settlement and growth in Clayton.



NATURAL SETTING

Clayton's surrounding landscape forms one of the most spectacular natural settings in the San Francisco Bay region. The community is laid out in the Clayton Valley and nestled between the ranges formed by Mt. Diablo, Eagle Peak, Twin Peaks and Mt. Zion to the south, and Keller Ridge-Kirker Pass to the north-northeast. The Town Center has the distinct feel of a western town carefully placed in the valley, given strong natural definition by both foreground and distant hills. Views and outlooks to the neighboring peaks and ridges bring the perception of the surrounding rugged landscape directly into the Town Center.

One of the most dramatic features of the Town Center is its western entrance from Clayton Road. The combination of the abrupt descent and dense tree cover creates a strong sense of entering a special world separated from the surrounding suburban landscape. Other strong natural boundaries on the north and south give the Town Center clear definition along three of its four

edges. Although the Town Center's topography is relatively level, the following subtle elevation changes within the setting are important:

- The Mitchell Creek and Diablo Creek embankments;
- The gentle knoll east of and above Diablo Creek; and
- The knoll south of Center Street, between Diablo and Morris Streets.

TOWN CENTER STREET GRID

The existing Town Center's street grid forms small blocks that range from 200 to 350 feet on a side. The grid contrasts with the curved patterns of rural roads and residential subdivisions of the Clayton area, and helps distinguish the Town Center from neighboring districts. The small block pattern gives the Town Center an intimate scale that pedestrians appreciate, and creates an extra number of corner buildings and sites with high visibility. Occasionally, the street grid is interrupted by topographical features, as the hill south of Center and Morris Streets, increasing one's awareness of the natural setting.

HISTORIC BUILDINGS AND STRUCTURES

The Town Center's history is recorded in the few remaining structures built before the turn of the 20th century. New development should recognize, respect, preserve, and be compatible with the historic buildings and mature plantings in the existing Town Center. A building exhibiting historic character from the period in which it was built can substantially contribute to the character of a new development. The following buildings in the Town Center have been recognized for their historical status:

- The DeMartini Winery (City Hall) is listed on the National Register of Historic Places;
- Endeavor Hall received a Governor's Historic Preservation Award; and
- Keller Ranch House is listed on the California Register of Historical Resources

Other buildings and sites in the Town Center may have historic or architectural significance to the City, County, or state.

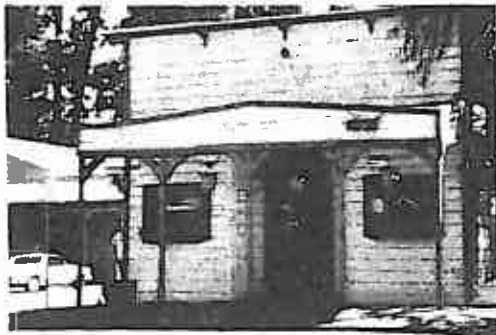


BUILDING-STREET EDGES

The older buildings of the Town Center form three *desirable* relationships of buildings to streets:

- Building with a front porch located at the sidewalk (Clayton Club);
- Courtyard or patio between the building and street (Clayton Historical Society Museum, restaurant on Main Street); and
- Building located on the front property line (commercial building at Main and Diablo Streets).

Each of these examples creates a strong pedestrian connection between building fronts and streets common to older downtowns.



Building with Front Porch



Front Courtyard on Main Street

COURTYARDS AND OPEN SPACES

The quilt-like pattern of alternating buildings and courtyards, organized by the grid of streets and individual lot lines, creates a spaciousness throughout the Town Center and allows through-block outlooks to the surrounding natural landscape. Mature trees define and shade the open spaces, creating a dense canopy over most of the setting, further emphasizing its special character apart from the surrounding open valleys and hills.

ARCHITECTURE

The Town Center's modest wood frame buildings develop a local vernacular with a genuine sense of antiquity and history. Horizontal wood siding, foundations of local stone, and other natural materials are combined in carpenter-built small structures with moderate-to-steep pitched roofs, frequent emphasis of porches and other protected outdoor spaces, roof overhangs and eaves, and orderly use of window openings. Several styles can be found ranging from the western false front of the Clayton Club to the rural vernacular of the Clayton-Pape House and Endeavor Hall. Many of the details recall "Craftsman," "Victorian," and other styles.

4.3 GOALS AND POLICIES

Goal I **Establish an attractive and vibrant Town Center with buildings, public spaces, and amenities designed to incorporate architectural and cultural features reminiscent of ~~from~~ Clayton's history.**

Policy I-1 *Maintain consistent design standards for street and sidewalk spaces throughout the Town Center. Sidewalk paving, curbs, street tree planting, and street furniture should be carefully coordinated and maintained as integrating visual elements.*

Policy I-2 *Maintain strong architectural standards to develop continuity between old and new buildings in the Town Center.*

Goal II **Emphasize the Town Center as the focus of community life in Clayton, integrating civic, cultural, shopping, residential, and recreational functions into a multi-use district.**

Policy II-1 *Create public places in the Town Center where residents can meet informally.*

Policy II-2 *Emphasize "The Grove" as a focus for civic and community events as well as a destination for residents and visitors.*

Policy II-3 *Emphasize the Town Center's character as a place for pedestrian enjoyment, following the traditional building-to-street relationship of older downtowns. Buildings should be located at the front of properties near the sidewalk, with active, well-scaled frontages that create pedestrian interest. Parking lots should be located to the rear of buildings, well-planted and screened from street view.*

Goal III **Maintain sites in the Town Center containing buildings and structures of local historical significance.**

Policy III-1 *Consider national and state historic designations for qualifying sites and buildings.*

Policy III-2 *Adopt a City historic preservation ordinance which includes provisions for conservation easements on historic buildings.*

Policy III-3 *Preserve the DeMartini Winery (City Hall,) Keller Ranch House, Endeavor Hall, Clayton-Pape House (Historical Society Museum) buildings.*

Goal IV **Integrate and maintain the Town Center's natural creeks, mature native trees, and landscape features into new development as a means to provide open space.**

Policy IV-1 *Preserve Mitchell Creek and Diablo Creek in their natural settings as important features and open space amenities of the Town Center.*

Policy IV-2 Implement strong design standards to retain existing healthy, mature native trees and other natural features in new development.

Policy IV-3 Provide and maintain direct pedestrian linkages between the Town Center and the regional trail system.

Policy IV-4 Retain and promote the Town Center's existing opportunities for outlooks to the surrounding foothills by requiring courtyards or other open spaces in each new development.

Goal V Create and maintain a compact downtown setting which emphasizes a high-quality pedestrian experience.

Policy V-1 Promote site and architectural designs which are pedestrian friendly and enhance the pedestrian experience.

Policy V-2 Encourage development of multiple-story buildings with ground-level retail stores and eateries, and upper-floor residential units.

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Policy V-3 Apply the Design Guidelines in the design review of all new development proposals and additions to or alteration of existing structures.

Goal VI Encourage the development of physical elements which enhance the Town Center's downtown character.

Policy IV-1 Require underground utilities in all new development.

Policy IV-2 Maintain strong controls on commercial signage, including illuminated signs.

Policy IV-3 Maintain strong standards on the location of parking lots, service areas, dumpsters, and mechanical equipment.

4.4 DESIGN GUIDELINES

These design guidelines are intended to be more than suggestions, but less than absolute requirements. This approach allows for some creativity and flexibility in meeting the intent of the guidelines.

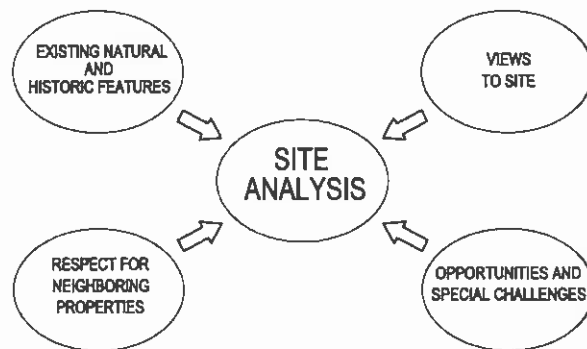
Recognizing that the guidelines offer a variety of ways to meet Town Center design objectives, the Planning Commission and the City Council have final authority to approve or deny a building design or proposed use based on whether the project as proposed meets these design guidelines.

4.4.1 SITE DESIGN

The quality of site design is the most important measure of a project's impact on the community and will be given first priority in the review of development proposals. Projects should demonstrate sensitivity to both the natural setting and to the neighborhood context. A project should also contribute to the *Specific Plan's* urban design goals and policies.

SITE ANALYSIS

Each development proposal should include a thorough analysis of existing conditions on and adjacent to the site. A proper analysis will include a careful examination of a site's physical properties, amenities, special challenges, constraints, and character, and an examination of the neighboring environment. The analysis will assist the developer in evaluating the proposed development's relationship to existing conditions, neighboring properties, and the community at large.



Site Analysis Considerations

GENERAL SITE DESIGN CRITERIA

- Demonstrate an overall design integrity and a serious effort to contribute to the beauty and harmony of the community.
- Develop compatible relationships to the land forms, building placement, and existing open spaces of neighboring properties.
- Respect the existing views, privacy, quiet, and sun and light exposure of neighboring properties.
- When conditions require a project to be different from its neighbors, provide a transition from existing to new development by careful placement and massing of buildings, well-designed planting patterns, and other means.
- Maintain vistas of surrounding hills and natural features.

PRESERVATION OF NATURAL FEATURES

Development proposals should demonstrate an effort to retain significant existing natural features characteristic of the community's landscape. Existing topography and land forms, drainage courses, vegetation, and views should be recorded in the Site Analysis and incorporated, to the maximum extent feasible, into the future development of the site.

MATURE TREES

- All mature healthy trees should be retained when feasible. This will require careful judgment weighing the value and hierarchy of all natural features, the size and species of the tree, and the proposed landscape plan for the site.
- Existing oaks over eight inches in diameter are considered significant resources which should be preserved.

TOPOGRAPHY

- Demonstrate an effort to minimize grading and alteration of natural landforms. Grading will be allowed to the extent necessary to fit the buildings into the natural land forms.
- Minimize potential problems created by building in areas of excessive slope, soil with poor bearing capacity, slide potential, flood plain, or other hazards.
- Building pads should retain natural contours as much as possible. Balancing of cut and fill areas is encouraged.

DRAINAGE

- Minimize potential surface drainage problems on neighboring properties, and provide adequate drainage on-site for each parcel.
- Natural drainage courses are to be preserved as closely as possible to their natural location and appearance. "Dry stream" effects which move the water over the property should be used instead of channeling or undergrounding methods, unless no other alternative to channeling exists.

CULTURAL RESOURCES ASSESSMENT

- A cultural resources assessment shall be conducted by a qualified expert (approved by the Community Development Director) prior to development of every developed parcel which contains over 10,000 square feet of undeveloped area, as well as every vacant parcel.

(Added by Resolution No. 02-2007, dated 1 16 2007)

PRESERVATION OF HISTORIC BUILDINGS AND RESOURCES

- The following steps can be taken to determine if a building or site is eligible for a historical designation:
 - *Contact the Clayton Historical Society and local historical preservation organizations for information.*
 - *Research to establish the validity of the building or site's historic role.*
 - *Nominate the building or site for historic designation by the City, County, state, if it, merits the designation.*
 - *Incorporate the historical resources on the site into any new development.*

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- New buildings which are built on the same site as, or adjacent to, buildings of historic character, should be designed to be respectful of the older buildings. Without mimicking the older buildings, new structures should consider the compatibility of details, materials, textures, colors, and landscape features.
- New buildings or building additions must demonstrate, to the satisfaction of the City, that impacts on adjacent historic structures have been mitigated.
- The State of California Historic Building Code should be used in place of local building codes in the case of qualifying historic structures.

RELATIONSHIP TO EXISTING DEVELOPMENT

All development proposals should show evidence of harmony with neighboring properties through their site planning, arrangement of building forms, and landscape design. The degree to which neighboring properties and buildings must be considered in the design of a new project will depend on the value, architectural quality, and estimated tenure of improvements on the neighboring property, as well as the particular requirements of the new project.

Project plans should take into account any important features of adjacent sites. Existing features should be shown in sufficient detail to enable evaluation of the relationship of the proposed development to its context. Eye level perspective photo-simulations or sketches of the proposed project and its immediate neighbors, as seen from the street, sidewalk, or other public place are encouraged.

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- The site organization should compliment the arrangement of buildings, open spaces, and landscape patterns on adjacent properties. When possible, buildings should be located for mutual advantage of shared open spaces, sunlight, circulation, parking, and views. Landscape features on adjacent properties should be compatible.
- When feasible, new development should be linked to adjacent properties by common circulation areas for pedestrians and vehicles. The method of shared circulation, parking, or walkways will vary depending on the specific site conditions. When no development exists on adjacent properties, give consideration to how the sites can develop common circulation linkages in the future.
- The design of new buildings and additions should be take into account the scale, in height and width, of surrounding buildings.
- Buildings of different size, form and materials can relate to each other through the use of common proportions, window and story heights, belt courses, porches, building bases, and other elements in a pattern that relates to neighboring buildings.

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INTERNAL SITE DESIGN

- Buildings and open spaces should be situated to take advantage of the spaces between buildings as opportunities for outdoor activities, as transitions between indoors and outdoors, and as potential points of "focus" on the site.

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- Buildings and building groups should form compact clusters to economize in the use of land and create larger open spaces on the site.
- Pedestrian circulation should be designed to enable convenient and attractive access from parking areas to destinations.
- The site plan and landscaping plan should consider climatic conditions to provide shade from summer sun, natural ventilation, and other measures to maximize energy efficiency and human comfort.

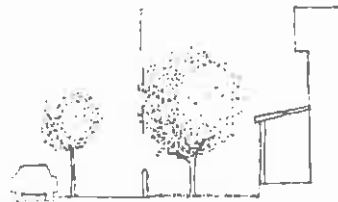
4.4.2 BUILDING-STREET EDGE

The *building-street edge* relationship is an important consideration in planning a building site. In order to sufficiently achieve the *Specific Plan's* objective of creating a high-quality pedestrian environment, buildings should be located close to the front property line and sidewalk, with frontages designed to maximize pedestrian interest. The intent is to follow traditional patterns of the Town Center layout, developing a consistency between the new and older parts of the Town Center. The following *building-street edges* are desired:

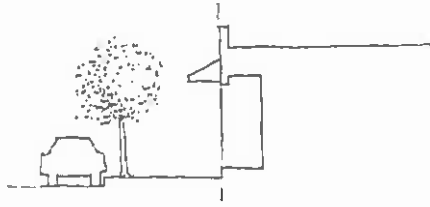
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- Continuous building edge with continuous porch along the sidewalk.



- Yard or courtyard fronting the street. A low wall or decorative fence may be used to define the front property line, or the yard may be open to the sidewalk with a pedestrian area between the sidewalk and building. The pedestrian area could develop into small courtyards with planting and benches.



- Building entrance and building wall built up to the front property line.
- Buildings should work within this vocabulary of street setback patterns. Building location and plan form should strive for a compatibility of setback pattern on each block.
- Every building should have a street-facing entrance. If a side or rear entrance is used, it should be accompanied by a street-facing entrance.
- Prohibit parking between the front elevation of the building and the street. Avoid placing of shrubs or other plants that create a visual barrier between the building and street.
- Building fronts should be parallel to the street. Avoid buildings whose primary mass is sited at an oblique angle to the street.
- In buildings with retail space at the ground level, the vertical elevation of the ground level should be located as close as possible to the vertical elevation of the public sidewalk in front of the building. Avoid an elevated ground level that separates the building from the sidewalk. (This guideline is not applicable where there is a significant change in existing grade between the building and sidewalk, nor is it applicable when it is necessary to elevate the building ground level above a flood plane elevation.)

4.4.3 COURTYARDS

The existing pattern of informal courtyard spaces is an important part of the character of the Town Center that should be continued in new development. Courtyards provide spaces for outdoor activities, shaded protection from the sun, and transitions from streets to the interiors of buildings.

The use of courtyards to save existing trees and other natural features is encouraged. The following courtyard characteristics are desirable:

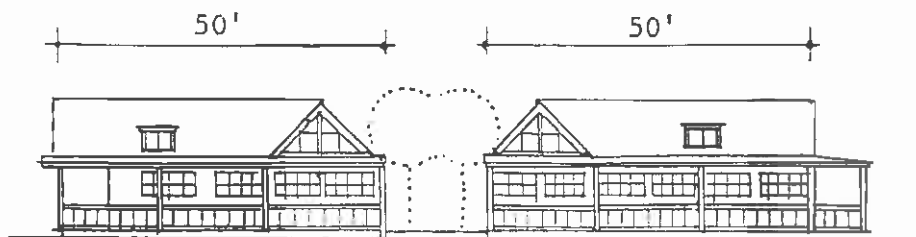
- When a front courtyard is used in a commercial building, it should maintain a strong pedestrian connection between the building and street.
- Front courtyards defined with low stone walls or low picket fences at the front property line are encouraged. A pedestrian entry to the building from the front sidewalk through the courtyard should be provided.
- The use of low planting beds, trees, low shrubs, flowers, and small lawn areas is encouraged.

- Trees should be scaled and located to provide shade for pedestrians and to create a canopy for the front sidewalk space.
- Shared or individual courtyards are encouraged to provide pedestrian connections from rear parking areas to the street frontage and building entrances.
- Arbor structures with vines and flowers (in courtyards and between buildings) are a good way to link buildings and define exterior spaces with planted canopies while newly planted trees mature.

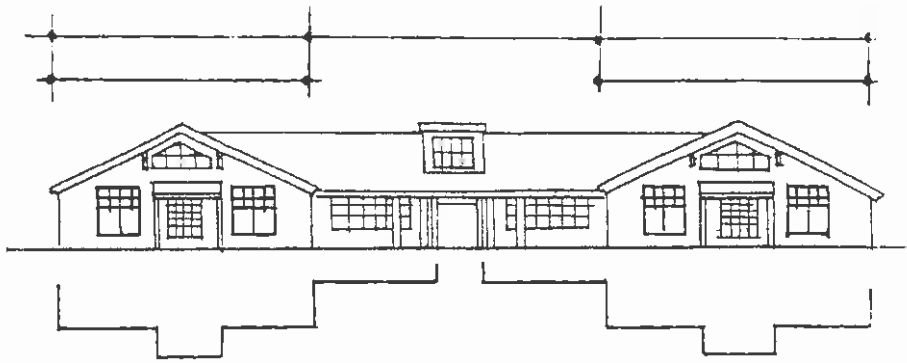
4.4.4 ARCHITECTURAL CHARACTER

SIZE AND BULK

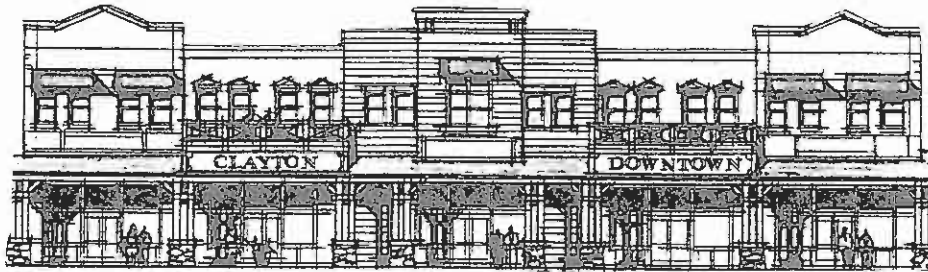
- New buildings in the Town Center are encouraged to have multi-story elements. This increase in development intensity will distinguish the retail and commercial nature of the Town Center from Clayton's residential neighborhoods.
- Building heights in the Town Center shall not exceed forty (40) feet.
(Amended by Resolution No. 02-2007, dated 1 16 2007)
- In order to continue the Town Center's detailed building scale and fine grain character, building widths of 50 feet or less on principal streets are encouraged. Buildings over 50 feet in width are permitted if function necessitates, but in such instances should be limited to 200 feet along a public street. Aggregation of several shop frontages into a single building is permitted with enhanced articulation and variety in design to provide the appearance of individual frontages.



- When a building width must be greater than 50 feet, its elevation must be divided into smaller parts by one or more of the following methods:
 - *A change of plane in the form of a projection or recess. A change of plane at the ground level should be accompanied by a change of plane at the eave or roof. The change of plane must be at least 5 feet in depth.*



- Clearly-articulated storefront bays of approximately 30 feet width or less, with exact bay dimensions determined by carefully-studied proportions.
- Differing designs and/or building materials to provide the appearance of individual storefronts.



ROOF FORMS

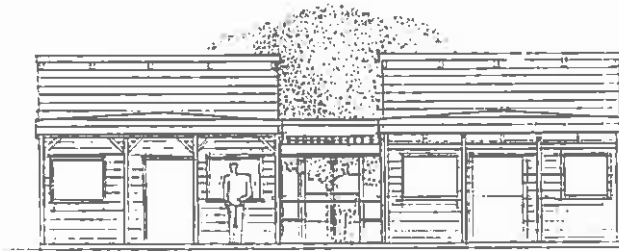
- Medium- to steep-gabled roof forms at pitches of 5:12 to 12:12 are encouraged, as is occasional use of dormers and shed roofs to add detail and scale. Roof pitches may be less in the case of large buildings.
- False fronts, elements on buildings are allowed.
- Gabled roofs should have a small overhang at both eaves and rakes. Eaves usually have a fascia board that covers the ends of the roof joists. Rakes have a trim board that covers the last roof joist. The overhanging rake may be supported by beam extensions and a variety of brackets to give additional detail where the wall meets the roof.
- Avoid flat roofs that require built-up roofing materials, except in areas which are fully screened by facades or sloped roofs.

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- Rooftop mechanical equipment should be avoided, except when no other feasible solution exists. When such equipment must be used, it should be minimized and fully screened from view from streets, adjacent properties, and pedestrian-oriented areas.

PORCHES

- The frequent use of porches is an important characteristic of older buildings in the Town Center. A porch is a sheltered entrance and may be open or closed to make an outdoor room or other protected space. Porches are encouraged as a means of providing transitions between indoors and outdoors. They add visual interest to a building by providing shade, shadow, and a sense of depth. A porch can give a building its character and may often be the dominant element of a building elevation.



BUILDING BASES

- Buildings should meet the ground with a base relating to human size, or a detail that articulates the building from the ground plane. A base of ground-related material, such as exposed stone facing, is encouraged.



Keller Ranch House

WINDOW OPENINGS

- Except at shopfront locations, the area of solid building wall should be greater than the area of window openings. Small window openings, or grouped windows, are preferred over larger openings.
- Large glazed areas should be avoided. When storefront windows are used, they should be divided by mullions into smaller elements, preferably less than 25 square feet each. Muntins are encouraged to further divide the window into smaller panes.
- Windows should be recessed to produce strong shadow lines.
- Two-story buildings should avoid vertical windows over a single story in height. Window openings less than six feet in vertical dimension are preferred.

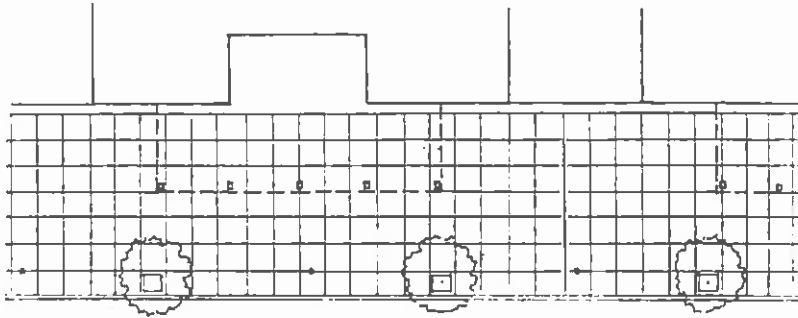
SCALE, PROPORTION, AND RHYTHM

- Scale describes a relationship of building parts to human size, to other building parts, or to a group of buildings.
 - *Porches, dormers, recessed entrances, and caves are encouraged to scale parts of the building to human size.*

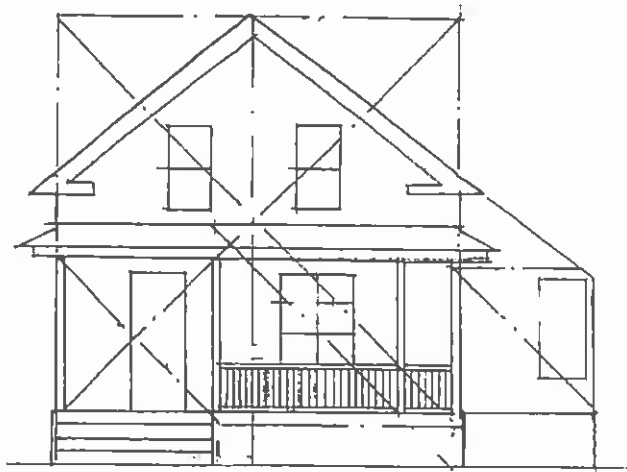


- *Along street frontages and in yards and courtyards, building elements at ground level should be kept to human size with relatively small parts. Exposed wood beams, columns, porches, exterior stairs, railings, trim, and other details are encouraged.*

- *Walkways and other paved areas near buildings should be divided into smaller parts. Paved areas should be interspersed with trees or other planting.*

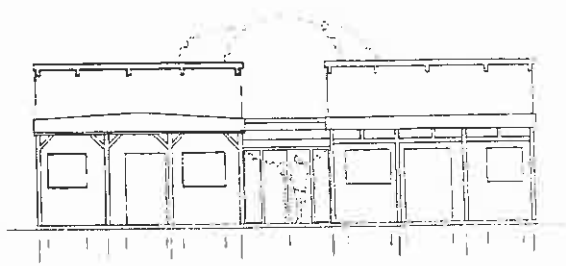


- Proportion is tied to scale. It describes divisional relations of line, area, and volume.
 - *Building facades should have a carefully-studied, pleasing, proportional relationship of width to height.*
 - *Building parts, recesses, window and door openings, and details should relate to an overall system of proportions within the facade.*



Clayton-Pape House -- 6101 Main Street

- The use of rhythm as an ingredient of composition is tied to the careful use of repetitive spatial or structural parts to give an underlying order. This order can then be interrupted or varied. It is helpful to have some basic order of repetitive parts be apparent, though subtle, so that significant variations have importance.



- Patterns of light and shadow give buildings depth and substance. Offsets, projections, overhangs, and recesses all may be used to produce effective shadow interest areas. Long unbroken expanses of wall or facade should be avoided along street frontages and corners.

BUILDING MATERIALS, TEXTURE, AND COLOR

Color selection should show evidence of coordination with the predominant colors on neighboring buildings.

Encouraged Materials

- Exterior walls
 - *Stone or stone veneer*
 - *Brick or brick veneer*
 - *Natural stone or brick facing (or approved equivalent) at foundations*
 - *Horizontal wood siding*
- Roofs
 - *Composition shingles (with heavy butts) in earth-tone colors*
 - *Wood shingles, if treated for fire resistance*
 - *Concrete shingles of earth-tone color*
 - *Metal ribbed roofing (weathered metals and earth-tone colors preferred)*
- Details
 - *Painted or stained timber beams and columns*

Acceptable Materials

- Exterior Walls
 - *Stucco with smooth finish on side and rear facades which do not face streets*
 - *Wood shingles*
 - *Vertical wood siding*
- Roofs
 - *Clay roof tiles in earth-tone colors*

Un-Acceptable Materials

- Exterior Walls
 - *Stucco on facades which face streets. Exception: Stucco with smooth finish may be allowed on facades which face streets in unique circumstances with approval by the Planning Commission or City Council.*
 - *Stucco with skip-trowel finish*
 - *Exposed concrete masonry, including split-face block*
 - *High contrast or brightly colored exterior wall material*
 - *Glass covering more than 30% of a building's exterior surface area*
 - *Glass curtain walls*
 - *Highly reflective or mirrored glass*
- Roofs
 - *High contrast or bright colors*
 - *Galvanized sheet metal*
 - *Built-up roofing, except for small areas*
 - *Highly reflective or shiny materials*

PAVING MATERIALS FOR PEDESTRIAN AREAS AND WALKWAYS

Encouraged Materials

- *Concrete with textured finish matching the wood board-stamped finish used on the public sidewalks*
- *Tile, earth-tones with non-slip surfaces*
- *Crushed granite and earth-tone gravel*

Discouraged Materials

- *Asphalt in areas adjacent to public streets and other high visibility areas. Asphalt is permitted in rear walkways solely leading to service areas.*
- *Brightly-colored tiles*
- *Materials with a hazardous surface when wet, or materials which act as an impediment to handicapped persons*

WALLS AND FENCES

- Walls and fences should be designed to be compatible with the surrounding landscape and architectural character of the building.
- Solid walls on primary elevations abutting public streets and sidewalks should be limited to three feet in height. Solid walls in other locations may be higher and should be accompanied by a minimum 24-inch planted edge on each side, except on the interior of service areas.
- Masonry walls should be capped with trim caps.

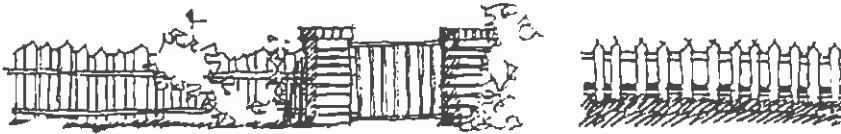
Encouraged Materials

- *Stone and stone veneer*
- *Wood picket, rail, or split-rail fences*

Stone Wall



Traditional Wood Picket Fence



Horizontal Rail Fencing Painted to Match Trim of Main Building



Acceptable Materials

- *Common brick and brick veneer*
- *Cement plaster with smooth finish over concrete masonry units*
- *Wood fences with historical or western character*
- *Precast concrete with stone facing*

Unacceptable Materials

- *Chain link or open wire*
- *Corrugated metal*
- *Cement plaster over wood frame*
- *Plastic or thin wood lath*
- *Bamboo or grass reed*

ACCESSORY STRUCTURES

All accessory structures should be designed to reflect the scale and style of the architecture of the principal building. Arbors, storage spaces, and other ancillary structures should be located and designed to respect the views and other special conditions of adjacent properties.

4.4.5 LANDSCAPE CHARACTER

The landscape concept is to continue the spirit and atmosphere of the old Town Center, while allowing for some influence of contemporary landscaping ideas. The plants and landscape patterns recommended are conservative in nature, in order to maintain the continuity and tradition of the old part of the Town Center.

- Existing trees should be preserved when possible. Site plans must demonstrate that a diligent effort has been made to retain important existing natural features.
- Plant selection should recognize the importance of water conservation and emphasize plant species that require low water use.
 - *Large expanses of turf grasses are discouraged, except in parks or other active areas.*
- All site areas not used for buildings, pedestrian areas, parking, or other designated functions shall be planted.
 - *Bare ground is not allowed since it creates dust in the summer and mud in the winter.*
- All landscaped areas should have an automatic underground irrigation system.
- Trees should be selected for size and form, in relation to other nearby trees and buildings.

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MINIMUM PLANTING REQUIREMENTS

The following minimum area planting requirements shall be observed. Existing trees and shrubs that are retained may count toward planting requirements. New planting requirements may be further adjusted to reflect the size and density of existing trees and shrubs.

LANDSCAPED OPEN SPACE

- At least twenty (20) percent of each site of one acre or more must be landscaped open space. Sites less than one acre must provide at least ten (10) percent landscaped open space.
(Amended by Resolution No. 02-2007, dated 1 16 2007)
 - *Paved pedestrian areas (e.g., sidewalks, patios, and courtyards) or balconies open to the public may be counted toward this requirement.*
 - *Internal parking lot landscaped areas may not be counted toward this requirement.*
- All areas counted toward the landscaped open space requirement must provide the following:
(Amended by Resolution No. 02-2007, dated 1 16 2007)
 - *One tree per 300 square feet of the total required landscaped area. Trees shall be 24-inch box size, minimum.*
 - *Shrubs, ground cover, decomposed granite, or paved pedestrian areas must cover all remaining required landscaped open space.*

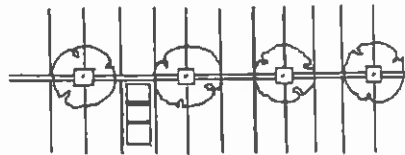
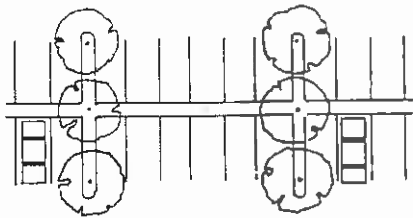
PARKING AREAS

• Parking Lot Perimeters

- *Off-street parking lots should be visually screened from street view by planting or a combination of planting and low fences. A continuous screen at least 36 inches high should be formed by the wall or planting. If shrubs are used to create this screen, the shrubs should be a minimum of 36 inches in height after two years growth. Space shrubs in massed plantings so that branches intertwine after two years average growth. Open wood fences may be used, but only in combination with vegetation to fully screen the parking area from view.*
- *Planted perimeter areas must be at least five feet deep along public streets and interior property lines. Provide at least one tree (minimum 24-inch box size) per 150 square feet of perimeter area between the property line edge and the parking lot.*

• Internal Parking Lot Planting

- *Off-street parking lots should include internal planting to develop tree canopies that soften the visual impact of the lots and provide relief from heat build-up. For all parking lots greater than 6,000 square feet, an internal area at least 10 percent of the total parking area should be planted with a combination of trees and shrubs. A minimum of one tree (minimum 24-inch box) for every three parking spaces must be evenly distributed throughout the parking lot with the purpose of providing shade coverage by tree canopies over fifty percent of the parking lot within fifteen years of building permit issuance. Trees planted in perimeter areas shall be credited toward this standard.*



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4.4.6 OFF-STREET PARKING AREAS

- A clear on-site circulation plan should be provided for automobiles, pedestrians, and service vehicles.
- Off-street parking should be located behind buildings, not in front of buildings. A less desirable solution, but acceptable when special conditions exist, is to locate parking on the non-street-side side of buildings.
- Driveway access points should be located on streets to ensure safe access and allow smooth pedestrian flow. In order to enhance the pedestrian experience along the street frontages, the number of driveway openings to streets should be minimized. Driveways should be shared and designed to serve multiple properties to the maximum extent feasible in order to minimize the number of curb cuts on streets.

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- Design pedestrian circulation to enable convenient and attractive access from parking areas to destinations.
- Existing mature trees should be retained and integrated into the layout of parking areas.
- Parking lots should be set back at least five feet from the face of a building.

4.4.7 SITE LIGHTING

GENERAL REQUIREMENTS

- The City's historical street light fixtures shall be used in all projects
- Limit the amount and intensity of lighting to that necessary for safety, security and to compliment architectural character. Lighting is not permitted which would spill onto—or interfere with the character of—the surrounding neighborhood.
- Lighting which is visible from adjacent properties or roads must be indirect or incorporate full shield cut-offs.
- Service area lighting should be designed to avoid spill-over into adjacent areas.

PARKING AREA LIGHTING

- For commercial parking areas, overhead lighting should be mounted at a maximum height of 15 feet above the paved surface.
- For residential parking areas, overhead lighting should be mounted at a maximum height of 10 feet. The placement of lighting in residential parking areas should avoid interference with bedroom windows.

WALKWAY, GARDEN, AND PEDESTRIAN AREA LIGHTING

- Overhead fixtures used for pedestrian areas should be limited to a height of 10 feet, with a minimum of 8 feet vertical clearance.
- Along walkways, low-level lighting fixtures mounted on short posts are encouraged. Shatterproof coverings are recommended. Posts should be located to avoid hazards for pedestrians or vehicles.

4.4.8 BUILDING EQUIPMENT AND SERVICES

- Carefully locate and design building equipment and services to minimize their visual impact on public streets and neighboring properties.
- Refuse and recycling containers as well as outdoor storage areas should be screened from view from public streets, pedestrian areas, and neighboring properties. The screening for refuse and recycling containers should be designed to be compatible with the architectural character of the development and be of durable materials.

- Utility meters, electrical transformers, fire shut-off valves, water risers, and other mechanical and electrical equipment should be located in service, loading, or screened areas. Exterior surface-mounted utility conduit and boxes should be kept to a minimum. Where they do exist, they should be designed, painted, or screened to blend in with the design of the building to which they are attached.
- Mechanical equipment, satellite dishes, communication devices, and other equipment should be fully concealed from view from streets, adjacent properties, and pedestrian-oriented areas.
- Where solar collectors or panels are attached to a building they should be integrated into the architectural design of the building or fully concealed from view from streets, adjacent properties, and pedestrian-oriented areas. Solar collectors or panels which are not attached to a building should be integrated into the landscape design by using berms, natural slopes, or similar devices. All plumbing and storage tanks associated with solar panels should be concealed from view from streets, adjacent properties, and pedestrian-oriented areas.
- Roof-mounted equipment is discouraged. When such equipment is necessary, it should be fully screened from view from streets, adjacent properties, and pedestrian-oriented areas. Special attention should be given to changes in elevation which may provide a view down to a roof. In such cases, the equipment should be enclosed in a screened shelter
- Screening devices (roof-top and at ground level) should include the following elements:
 - *Architectural screens should be an extension of the development's architectural character.*
 - *Screen walls should be constructed of low maintenance and durable materials which are consistent with the main building's materials.*
 - *Landscaping should be used in conjunction with building materials to complement ground level screening devices.*

4.4.9 SIGNS*

GENERAL DESIGN CRITERIA

- All signs should be a minimum size and height to adequately identify a business.
- Signage design should be carefully integrated with site and building design to create a unified appearance for the total property.
- Signs and illumination should be limited to no more than two opposing faces.
- Illumination should be projected onto the sign face. The light source should be fully shielded from view. Internally illuminated plastic signs are prohibited.
- All signs and sign components should be limited to three colors in addition to black and white.

* Signs must also comply with the Sign Provisions (Chapter 15.08) of the Municipal Code.

- Typefaces should be chosen for their simplicity and clarity. Signs on older buildings should use a typeface is consistent with the historic character of the building.

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- Sign posts and other structural elements should be made of wood or metal with a white, earth-tone, black, or natural stain finish. Reflective or bright colors are not permitted.
- No sign, other than a sign installed by a public agency, should be placed in the public right-of-way on sidewalks or streets.

- Signs should be carefully located for safety and should not block driveway views of oncoming traffic.

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- No signs are allowed above the highest portion of the building.
- A master sign plan shall be designed for projects containing three or more business establishments.

RECOMMENDED SIGN TYPES

- **Awning Valance:** A sign or graphic attached to or printed on an awning's valance.
- **Monument:** A ground sign constructed upon a solid-appearing base or pedestal.
- **Kiosk:** A small freestanding structure which has three or more surfaces.
- **Projecting:** A sign extending from a building face or wall so that the sign face is perpendicular or at an angle to the building face or wall.
- **Suspended:** A sign attached to and located below any permanent eave, roof or canopy.
- **Wall:** A sign not exceeding six inches in thickness that is painted on, attached to, or erected against the wall of a building or structure with the exposed face of the sign parallel to the plane of the wall.
- **Window:** A sign displayed on window glass (including the glass of doors) or within three feet of a window designed to be viewed from the exterior of the window.
- **Pole Sign:** A type of ground sign mounted to or hanging from a pole or similar structure.

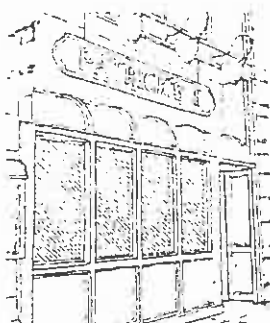
Sign Types



Awning Valance



Monument



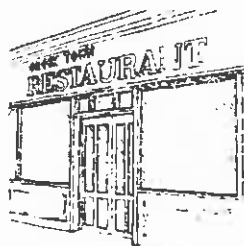
Suspended



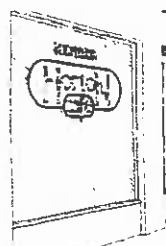
Kiosk



Projecting



Wall



Window



Pole

SIGN AREA AND NUMBER

MAXIMUM LETTER AND SYMBOL HEIGHT

- Eight inches on all sign types except wall and suspended signs, which may be twelve inches in height.
- Sign areas are limited and vary with sign types.
- To calculate the area of a sign, measure:
 - The area of the box or outline which contains the sign, or
 - In the case of unboxed letters or symbols, the area of the smallest rectangle which would enclose all of the letters or symbols.
 - Only one face of a double-faced sign with parallel opposing faces, and bearing identical copy, shall be used in calculating sign area.



Measure The Sign Box



Measure The Imaginary Box

SIGN AREAS ARE LIMITED AND VARY WITH SIGN TYPES.

Maximum permitted sign areas are:

- Awning Valance: 3 square feet.
- Monument: 12 square feet.
- Suspended and Wall: 12 square feet.
- Kiosk: 24 square feet (total of all faces).
- Projecting: 8 square feet.
- Window: 6 square feet (no larger than 25% of the window on which it is displayed).
- Pole: 6 square feet.

Sign area limits for large buildings may be considered on a case-by case basis.

PROPERTIES WITH MORE THAN ONE TENANT

The following number and area of signs are permitted:

- One sign to identify the complex, not to exceed the area limits previously listed, and
- One sign for each individual tenant, to a maximum of 10 square feet, but not to exceed the limits of any sign type listed previously, and
- Up to two building directory signs located at principal pedestrian entrances, each not to exceed 8 square feet.

SIGN HEIGHT LIMITS

The following sign height limits above grade are permitted:

- Awning Valance and Projecting: 10 feet (single-story building); 30 feet (multiple-story building).
- Monument: 3 feet.
- Suspended and Wall: 15 feet.
- Kiosk and Pole: 7 feet.

RESIDENTIAL SIGNS

The following signs are permitted on multi-family residential properties with 12 or more units:

- One monument, pole, or wall sign of 10 square feet or less.

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PROHIBITED SIGNS

The following signs are prohibited:

- Roof signs.
- Internally illuminated plastic signs. All plastic signs are strongly discouraged.
- Back-lighted signs which appear to be internally illuminated.
- Portable signs, except as allowed by the Sign Provisions in the *Municipal Code*.
- Signs which cover or interrupt architectural features.
- Off-site signs, except as allowed by the Sign Provisions in the *Municipal Code*.

**CITY OF CLAYTON PLANNING COMMISSION
RESOLUTION NO. 03-08**

**TOWN CENTER SPECIFIC PLAN UPDATE
AMENDMENT OF CHAPTER 4 (URBAN DESIGN) OF THE
TOWN CENTER SPECIFIC PLAN.
SPA 01-07**

Whereas, Sections 65353 and 65453 of the *Government Code* require the Planning Commission to make a recommendation to the City Council on amendment of a specific plan; and

Whereas, the City of Clayton has proposed amendments of the *Town Center Specific Plan* to make additions, revisions, and deletions of various policies, standards, permitted uses, guidelines, text, and figures; and

Whereas, the Planning Commission discussed amendments of Chapter 4 (Urban Design) of the *Town Center Specific Plan* at numerous public meetings commencing on August 14, 2007; and

Whereas, the Planning Commission held a duly-noticed public hearing commencing on November 13, 2007 and continued to subsequent Planning Commission meetings through March 11, 2008 on the amendment of Chapter 4 (Urban Design) of the *Town Center Specific Plan*; and

Whereas, the Planning Commission considered the public testimony and staff reports; and

Whereas, the *Town Center and Vicinity Planning Amendments Initial Environmental Study/Negative Declaration* (ENV 01-06), which has been previously approved by the City, studied the environmental impacts of amendments of the *Town Center Specific Plan*, and those aspects of the project which were not evaluated in the *Town Center and Vicinity Planning Amendments Initial Environmental Study/Negative Declaration* (ENV 01-06) are exempt from the California Environmental Quality Act (CEQA) in accordance with Sections 15061(b)(3), 15305, and 15332 of the CEQA Guidelines; and

Now, Therefore, Be it Resolved That:

Section 1. The Planning Commission recommends the City Council approve an amendment of Chapter 4 (Urban Design) of the *Town Center Specific Plan* to read as provided in the **Attachment**.

Section 2. The amendment of Chapter 4 (Urban Design) of the *Town Center Specific Plan* would be in general conformance with the *General Plan* and *Town Center Specific Plan*, including any affected implementation programs; would be in the public interest; and has been assessed for potential impacts and have been determined to not be detrimental to the public health, safety, or welfare.

EXHIBIT C
(2 PAGES)

Adopted by the Planning Commission on _____.

APPROVED

ATTEST

Keith Haydon
Chair

Jeremy Graves, AICP
Community Development Director

Attachment: Chapter 4 – Urban Design (Revised _____, 2008)