



Agenda

Planning Commission Meeting

7:00 P.M. on Tuesday, May 25, 2010

Hoyer Hall, Clayton Community Library, 6125 Clayton Road, Clayton

CALL TO ORDER, ROLL CALL, PLEDGE TO THE FLAG

Administrative

- 1A. Review of agenda items.
- 1B. Chair Armstrong to report at the City Council meeting on June 1, 2010.

Public Comment

Approval of Minutes

2. Approval of minutes from the meeting of April 13, 2010.

Public Hearings

3. **Creekside Terrace Mixed Use Project, City of Clayton**, 1005 Oak Street, 1007 Oak Street, and a third non-addressed parcel west of and upslope from Mitchell Creek (APNs 119-050-009, 119-050-034, and 119-050-008). The project site is located on the west side of Oak Street between High Street and Center Street. The project involves the redevelopment of two properties, which are currently developed, generally level, and serviced by utilities. The third parcel, located immediately to the west, is an up sloping undeveloped property with Mitchell Creek traversing the eastern edge of that parcel near the toe of slope. The proposed project involves the construction of a two-story mixed-use building, incorporating a western-style frontage characteristic of architectural themes suggested in the *Clayton Town Center Specific Plan*. The first floor is comprised of approximately 7,200 square feet of retail commercial space with a 20-foot ceiling. The second floor includes seven (7) residential units. The residential units are one-bedroom and several of the units contain dens. A terrace is proposed on the creek (west) side of the second story. The proposed project includes the following entitlements:

- **ENV 01-08, Environmental Review.**
- **DP 01-08, Development Plan.**
- **MAP 02-09, Tentative Map.**

Proposed Action: Recommend City Council Approval.

Old Business

4. None.

Agenda
Planning Commission Meeting
Tuesday, May 25, 2010
Page 2

New Business

5. None.

Communications

- 6A. Staff.
6B. Commission.

Adjournment

7. The next regular meeting of the Planning Commission is scheduled for **Tuesday, June 8, 2010.**

Most Planning Commission decisions are appealable to the City Council within ten (10) calendar days of the decision. Please contact Community Development Department staff for further information immediately following the decision. If the decision is appealed, the City Council will hold a public hearing and make a final decision. If you challenge a final decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing(s), either in oral testimony at the hearing(s) or in written correspondence delivered to the Community Development Department at or prior to the public hearing(s). Further, any court challenge must be made within 90 days of the final decision on the noticed matter. If you have a physical impairment that requires special accommodations to participate, please contact the Community Development Department at least 72 hours in advance of the meeting at 925-673-7340. An affirmative vote of the Planning Commission is required for approval. A tie vote (e.g., 2-2) is considered a denial. Therefore, applicants may wish to request a continuance to a later Commission meeting if only four Planning Commissioners are present. Any writing or documents provided to the majority of the Planning Commission after distribution of the agenda packet regarding any item on this agenda will be made available for public inspection in the Community Development Department located at 6000 Heritage Trail during normal business hours.

Minutes
Clayton Planning Commission Meeting
Tuesday April 13, 2010

Call to Order

Chair Bob Armstrong called the meeting to order at 7:00 p.m. at Hoyer Hall, 6125 Clayton Road, Clayton.

Present: Chair Bob Armstrong, Vice Chair Sandra Johnson, Commissioner Tuija Catalano, Commissioner Ted Meriam, Commissioner Dan Richardson

Staff: Community Development Director David Woltering

Administrative

1A. Review of agenda items.

1B. Commissioner Richardson to report at the City Council meeting on April 20, 2010.

Public Comment

None.

Approval of Minutes

2. Approval of minutes from the meeting of March 9, 2010.

Commissioner Catalano moved and Vice Chair Johnson seconded the motion to approve the minutes from the meeting of March 9, 2010, as amended. The motion passed 4-1, with Commissioner Meriam abstaining.

Public Hearings

3. None.

Old Business

4. **GPA 01-09, Clayton General Plan Housing Element Update, City of Clayton.** An amendment of the Housing Element of the Clayton General Plan initiated by the City of Clayton to update the City's current Housing Element as required by State law.

Community Development Director David Woltering presented the staff report. He indicated the purpose of the presentation was to provide an informational update on the matter. He summarized the process the City had been through to date on the Housing Element Update project from the Commission's and City Council's actions in June of 2009 approving the Draft Housing Element Update to submitting that Draft to the California Department of Housing and Community Development (HCD) on July 15, 2009 for review in order to revise the document to address the comments and directives of HCD reviewers. He summarized some of the key comments of the HCD reviewers, including comments and directives that the City of Clayton must increase its maximum density for the multi-family General Plan designation and related Zoning classifications to 20 units per acre and further identify suitable sites that could be redesignated/reclassified to these higher densities to facilitate the development of 50 dwelling units within the lower-income categories, given that HCD reviewers determined that the Clayton draft Housing Element Update was deficient by that number in the lower-income categories.

The Director identified the specific properties currently designated/classified for up to 15 dwelling units per acre that would need to be increased to 20 dwelling units per acre and he identified potential suitable sites, or portions thereof, that could be considered for redesignation

and reclassification to facilitate achieving the potential 50-unit deficiency HCD had identified. He mentioned that that staff and the City's Housing Element Consultant had reviewed this information with the City Council at its meeting on January 19, 2010, and that the Council indicated its general support for including an implementation measure in the Draft Housing Element to increase the density from 15 to 20 units per acre for the multi-family residential land-use designation/classification in Clayton and for staff and the Housing Consultant to continue to work with HCD reviewers using the above-cited parcels for consideration to address the need to identify properties in Clayton that could be redesignated/reclassified to higher densities that could accommodate lower income households.

Mr. Woltering stated that, subsequently, as staff and the Housing Consultant worked with the HCD reviewers, the reviewers clarified that the City must identify specific site(s) to satisfy the 50-unit shortfall and that any individual property must be demonstrated that it could yield a minimum of 16 units to satisfy HCD requirements as a suitable site. Only the Easley Ranch property actually satisfies that yield requirement. Accordingly, Implementation I.1.1., on page 107 and 108 of the revised Draft Housing Element, was written in a manner that the City cannot count on the other three sites being considered to address the identified 50-unit shortfall. Nevertheless, he indicated the area of those properties provides an opportunity for the City to potentially secure an affordable housing project site. Consequently, those properties continue to be identified for further consideration. Director Woltering noted that Mr. Robert Easley had clarified in writing that his family is not supportive of a redesignation/reclassification of a portion of his family's property to accommodate affordable housing to lower-income households.

Mr. Woltering then indicated that staff and the City's Housing Consultant had made the changes to the Draft Housing Element Update as directed by the HCD reviewers. He reiterated that the State had mandated that specific sites be identified that could be redesignated/reclassified to satisfy mandated housing requirements. He also clarified that prior to any actual redesignation/reclassification there would be noticed public hearings and opportunities to consider possible alternative sites. The Director concluded that staff and the Housing Consultant believe that the revised Draft Housing Element, dated April 2010, based on representations from HCD reviewers, would be certified by HCD.

Vice Chair Johnson requested clarification that the City could consider a change in General Plan designation or Zoning classification even if the property owner is opposed to such a change. Community Development Director Woltering indicated that local communities do have land-use authority and can make such changes, but that there must be notice public hearings and opportunities to comment provided to the parties involved. He also indicated that a property owner must retain a viable economic use of his/her property.

Chair Armstrong indicated concerns about the extent of increasing mandates that local communities must satisfy from the State.

Commissioners Catalano and Richardson acknowledged and affirmed that the Housing Element establishes programs and measures for accommodating the assigned housing goals of the City of Clayton, but that the implementation of those programs and measures will be when difficult decisions will need to be made. Those decisions will involve noticed public hearings at which specific ordinances and properties would be considered.

Commissioners, including Commissioner Meriam, wanted to know if progress toward meeting certain housing goals occurred beyond expectations in certain areas could that progress be considered for perhaps reducing the impact elsewhere. For example, if lower income housing units were developed beyond expectations elsewhere could the amount of area being considered for redesignation/reclassification on the Easley property be reduced. Director Woltering indicated, yes, those extra units in needed categories could be considered.

New Business

5. None.

Communications

6A. Staff.

Community Development Director Woltering indicated that the Clayton General Plan Housing Element Update would be forwarded on to the City Council at its upcoming meeting on April 20, 2010 for consideration of adoption. Mr. Woltering indicated that, besides the Housing Element Update, staff was continuing work on the Creekside Terrace Town Center mixed-use project to bring that matter before the Planning Commission for consideration. The Planning Commission would not be taking final action on that project, but recommending certain actions to the City Council.

6B. Commission.

None.

Adjournment

7. The meeting was adjourned at 8:22 p.m. The next regular meeting of the Planning Commission is scheduled for **Tuesday, April 27, 2010.**

Submitted by
David Woltering, AICP
Community Development Director

Approved by
Bob Armstrong
Chair

Plng Comm\Minutes\2010\0413

PLANNING COMMISSION STAFF REPORT

Meeting Date: May 25, 2010

From: David Woltering, Community Development Director 
Milan Sikela, Assistant Planner 
Nick Pappani, Environmental Planning Consultant

Subject: Creekside Terrace Mixed Use Project
(ENV 01-08, DP 01-08, and MAP 02-09)

REQUEST

Adoption of an Initial Environmental Study/Mitigated Negative Declaration (IES/MND) and approval of a Development Plan and a Vesting Tentative Map to allow the construction of a two-story, mixed-use commercial/residential building with approximately 7,200 square feet of commercial retail on the first floor and seven residential units on the second floor.

PROJECT INFORMATION

Applicant/Location: City of Clayton
West side of Oak Street and North of High Street
APNs 119-050-034, 119-500-009, and 119-050-034

Property Owner: City of Clayton

General Plan Designation: Town Center Commercial; Rural Estate (RD)

**Town Center Specific
Center Plan Designation:** Town Center Commercial

Zoning: Planned Developed (PD); Residential (R-40-H)

Public Notice: On May 13, 2010, a public hearing notice was mailed to property owners within 300 feet of the site and posted on the project site. To date, no comments have been received by staff.

BACKGROUND

The City holds public title to the underlying land and improvements on three (3) parcels located on the west side of Oak Street between High and Center Streets in the Town Center area. Two of the properties have now vacant modular buildings on them (APN 119-050-034, 119-050-009). The third parcel is primarily in open space condition (APN 119-050-008). Immediately adjacent to the north of the proposed development site is the largely-unused right-of-way extension to Center Street. It is not anticipated that Center Street will be extended, given the location of Mitchell Creek and the hillside to the west.

On January 29, 2008, the City Council and Planning Commission held a joint study session to review a mixed-use retail/residential project proposed for the two improved parcels referred to as the “Rivulet” project. The City Council subsequently determined to work with a developer to process this proposed project for needed Planning entitlements.

The proposal was for seven/eight residential units on the upper floor and approximately 7,000 square feet of commercial space on the ground floor. A lift system was proposed for parking spaces so that 14 parking spaces could be provided on-site in seven garages for the seven residential units determined feasible for this site. This proposed project, with its “Western” architectural style was reviewed by staff and the Planning Commission at five noticed public meetings during the subsequent 12 plus months and refined in terms of architectural features, assuring at least the current setback to Mitchell Creek, adding driveway pads in front of the garages to accommodate guest parking, and assuring creek bank restoration, removal of non-native vegetation, and installation of riparian vegetation to both sides of Mitchell Creek in the vicinity of the proposed project. In-lieu fees were proposed for the seven parking spaces required for the commercial component of the project in accordance with the “parking waiver” provisions allowed in Section 17.37.030.C and related sections of the Clayton Municipal Code. The proposed project also includes the developer enhancing the presently unimproved terminus of Center Street with riparian vegetation and creating a seating area with environmental education boards describing the Mitchell Creek natural setting. Additionally, the developer would be responsible for creating a conservation easement and maintaining the parcel immediately adjoining and west of Mitchell Creek. The improvements to and on-going responsibility to maintain the areas of the terminus of Center Street and the parcel westerly of Mitchell Creek along with active open space areas within the proposed development would satisfy the City’s open space requirements.

In addition to the meetings for the purpose of reviewing and refining the project plans as described above, an Initial Environmental Study/Mitigated Negative Declaration (IES/MND) was prepared and reviewed for the project. A copy of the IES/MND is provided with this report and its findings summarized in the Environmental Review section below. The public review period for the IES/MND extended from March 2, 2009 through April 2, 2009. The planning entitlements associated with this application are a Development Plan approval in accordance with Chapter 17.28 of the Clayton Municipal Code given the project is in a Planned Development Zoning District and a Vesting Tentative Map approval to create seven residential condominium units and four or five commercial condominium units on the ground floor.

The developer associated with this proposed project failed to replenish the deposit account and the project did not move forward in terms of processing during the latter portion of 2009. The Clayton Redevelopment Agency decided to assume the position of project sponsor and entered into a contract with VIZf/x for professional services to assist with preparing, assembling, and processing plans and information for consideration of planning entitlements for a renamed and slightly modified version of the Rivulet project. The new project is named Creekside Terrace and involves a reallocation of 200 square feet of residential entry space to increase the commercial ground floor space to 7,200 square feet from approximately 7,000 square feet of space.

ENVIRONMENTAL REVIEW

The original development application for the subject properties was for a very similar mixed use project, entitled “Rivulet.” For this original development application, the City, in concert with its environmental consultant for the project, prepared an IES/MND to adequately evaluate the potential environmental impacts of the proposed “Rivulet” Project. The IES/MND was released for a 30-day public review period from March 2, 2009 to April 2, 2009. A total of six (6) public comment letters were received during the 30-day review period and one public comment hearing on the IES/MND was held before the Planning Commission during the review period. The meeting minutes from this public hearing are included in the list of comment letters attached as Appendix F to the Creekside Terrace IES/MND (see below paragraphs for a description of this document). As noted above, after the original developer failed to move forward with this project, the Clayton Redevelopment Agency assumed the position of project sponsor, slight modifying the project, and renaming it to Creekside Terrace.

Creekside Terrace IES/MND

In order to reflect the most recent project application, the Rivulet Project IES/MND has been revised in strike-through, underline format, and appropriately renamed to “Creekside Terrace IES/MND.” Since the changes to the original Rivulet project design are very minor, and generally include a reallocation of 200 square feet of ground floor residential entry space to retail space and revisions to the storm drain system design, the revisions reflected in the Creekside Terrace IES/MND do not affect the adequacy of the previous environmental analysis contained in the Rivulet Project IES/MND, which determined that the project would result in potentially significant impacts in the following areas: air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials, hydrology, and public services. However, the original findings presented in the Rivulet Project IES/MND remain applicable for the Creekside Terrace IES/MND – that is, all impacts could be reduced to a less-than-significant level with implementation of required mitigation measures.

The Creekside Terrace IES/MND also includes changes resulting from the responses to public comments submitted on the March 2009 Rivulet Project IES/MND (see Appendix F). Also attached, as Appendix G to the Creekside Terrace IES/MND, is an Errata Sheet, which includes a listing of all changes to the IES/MND as a result of public comment or in response to the most recent development application.

In addition to the changes made to the IES/MND in order to provide clarification concerning the current development application, other changes were made in response to the public comments submitted on the original Rivulet Project IES/MND. Most of the changes made to the IES/MND in response to comments are a result of Planning Commissioner comments, which are included in Letter 1 of Appendix F to the Creekside Terrace IES/MND. Many of the comments submitted by the Commissioners regard requests for further details concerning the methodology of certain mitigation measures. In response to these comments, minor text additions have been made to select mitigation measures for purposes of methodological clarification. Regarding the addition of Section 4, *Greenhouse Gas Emissions*, to the IES/MND, this section has been added per the State’s recent amendment of Appendix G of the CEQA Guidelines. The climate change information added to the Creekside Terrace IES/MND does not result in any new significant impacts associated with the proposed project. The included analysis is for informational purposes, most specifically, in order to demonstrate how the Creekside Terrace project achieves many of the design objectives identified by various authorities to reduce greenhouse gas emissions. In summary, the changes to

the previous IES/MND do not result in any new significant impacts; subsequently, there is no need to recirculate the Creekside Terrace IES/MND.

DEVELOPMENT PLAN

The Development Plan is being processed in accordance with the provisions of Chapter 17.28 of the Clayton Municipal Code. It should be noted that the establishment of a conservation easement over the westerly parcel, the restoration and enhancement of the Mitchell Creek corridor associated with this proposed project, the development of a seating area and environmental information opportunity site for the community, and the on-going responsibility to maintain these areas are proposed along with more active recreation areas within the project to satisfy the open space requirements for the project as allowed under 17.28.100 of the Clayton Municipal code.

The project also proposes the extension of the Waiver Period provisions for parking as described in the Background section of this report. This extension is addressed in proposed Condition 19 in the attached Draft Conditions of Approval.

Finally, the attached Draft Conditions of Approval include proposed conditions related to Site Plan, Architectural, and Landscape Architectural issues/concerns starting at Page 6.

VESTING TENTATIVE MAP

This Vesting Tentative Map is being processed in accordance with Chapter 16.40 Vesting of Tentative Maps of the Clayton Municipal Code. Vesting Tentative Map applications as compared to standard Tentative Map applications require more detailed information from applicants, such as information regarding actual project construction and architectural details, landscape treatments, and exterior colors and materials. This specificity is required because, in return for more specific control over what an applicant is intending to do, the local community is generally agreeing the ordinances, policies, and standards in place at the time of approval of the Vesting Tentative Map will apply to the project. The expiration and extension period are the same for both the Tentative Map and Vesting Tentative Map pursuant to 16.40.080 of the Clayton Municipal Code. The initial approval period for both types of maps is 24 months.

Starting at Page 8 of the attached “Creekside Terrace Draft Conditions of Approval and Advisory Notes (ENV 01-08, DP 01-08, and MAP 02-09)” are the Engineering Conditions that are recommended to apply to the mapping aspect of this proposed project.

RECOMMENDATION

The Planning Commission recommend that the Clayton City Council adopt the Creekside Terrace Project Initial Environmental Study/Mitigated Negative Declaration (IES/MND), dated May 2010, and approve the Development Plan and Vesting Tentative Map, based on the Creekside Terrace Mixed Use Project Land Use Entitlement Submittal Package, dated March 8, 2010 (Planning Commission Submittal) and the findings stated below, and subject to the Creekside Terrace Draft Conditions of Approval and Advisory Notes (ENV 01-08, DP 01-08, and MAP 02-09).

Findings

Based on the evidence in the staff report and project file, as well as testimony at the hearing, the Planning Commission makes the following findings regarding the subject Creekside Terrace Mixed Use Project, subject to the Creekside Terrace Draft Conditions of Approval and Advisory Notes:

1. Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case since the Project proponent has made revisions to the Project and has agreed to mitigation measures listed in the IES/MND. Further the mitigation measures and the information in the IES/MND constitute a Mitigated Negative Declaration in accordance with Section 15071 of the State CEQA Guidelines.
2. Is consistent with the respective designations and policies of the *General Plan* and *Town Center Specific Plan*.
3. Meets the standards and requirements of the *Zoning Ordinance*.
4. Is consistent with the architectural guidelines of the *Town Center Specific Plan*.
5. Is consistent with the State Subdivision Map Act requirements and local *Subdivision Ordinance*.
6. Preserves general safety of the community regarding seismic, landslide, flooding, fire, and traffic hazards since flood proofing will be provided for those portions of the building below one-foot above the 100-year flood surface elevation.
7. Maintains solar rights of adjacent properties.
8. Reasonably maintains the privacy of adjacent property owners and/or occupants.
9. Reasonably maintains the existing views of adjacent property owners and/or occupants since the project incorporates appropriate visual screening structures to ensure rooftop equipment does not detract from off-site viewpoints.
10. Is complementary, although not identical with adjacent existing structures in terms of materials, colors, size, and bulk.
11. Is compatible with the neighborhood and surrounding land uses.
12. Is consistent with the intent of the *Town Center Specific Plan* landscape guidelines regarding landscaped open space on project sites.

ATTACHMENTS:

1. Creekside Terrace Mixed Use Project Land Use Entitlement Submittal Package, dated March 8, 2010 (Planning Commission Submittal), comprised of the following: Title Sheet, Tentative Map Title Sheet, Vesting Tentative Map, Preliminary Grading and Drainage Plan, Preliminary Unit Layout, Storm Water Control Plan, Preliminary Landscape Plan, Architectural Site Plan, First Floor Plan, Second Floor Plan, Roof Plan, TM – Layout and Cut Sheets, Elevations, Sections, Wall Sections and Details, View from Flora Square, View from High Street, Flood Data, and Building Signage Plan (April 23, 2010), and Color Material Board (Color Material Board to be presented at May 25, 2010 meeting).
2. Creekside Terrace Project Initial Environmental Study/Mitigated Negative Declaration (IES/MND), May 2010.
3. Creekside Terrace Draft Conditions of Approval and Advisory Notes (ENV 01-08, DP 01-08, and MAP 02-09).

Creekside Terrace Project Description

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

Creekside Terrace Project Description

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

The Creekside Terrace project is a 100-unit mixed-use development located in the City of Clayton, California. The project consists of a 10-story residential building with ground-floor retail and office space. The development is situated on a 10-acre site adjacent to the San Ramon Valley Blvd. and the City of Clayton. The project is owned by the City of Clayton and is being developed by the City of Clayton Redevelopment Agency. The project is currently in the planning phase and is expected to be completed in 2010.

Project Team:
Architects:
VIZ/f/x
PO Box 974
Clayton, CA 94517
with KTG - Irvine, CA

Project Address:
1005 - 1007 Oak St
Clayton, CA 94517

Project Applicant:
City of Clayton
Redevelopment Agency
8000 Heritage Circle
Clayton, CA 94517

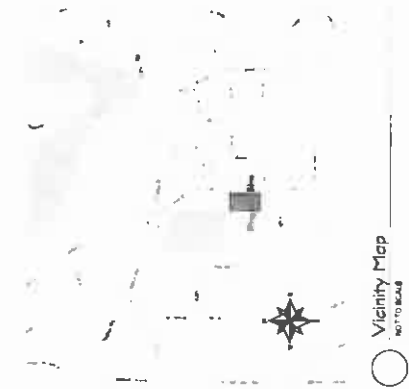
Civil:
DeBor Civil Engineering
311 San Ramon Valley Blvd.
Danville, CA 94526

Landscape Architecture:
Green & Associates
2671 Crow Canyon Rd.
San Ramon, CA 94583

Traffic Engineering:
Abrams Associates
1600 Olympic Blvd.
Walnut Creek, CA 94596

Soil Engineer:
Cuskey Geotechnical
2928 Middle Dr.
Concord, CA 94523

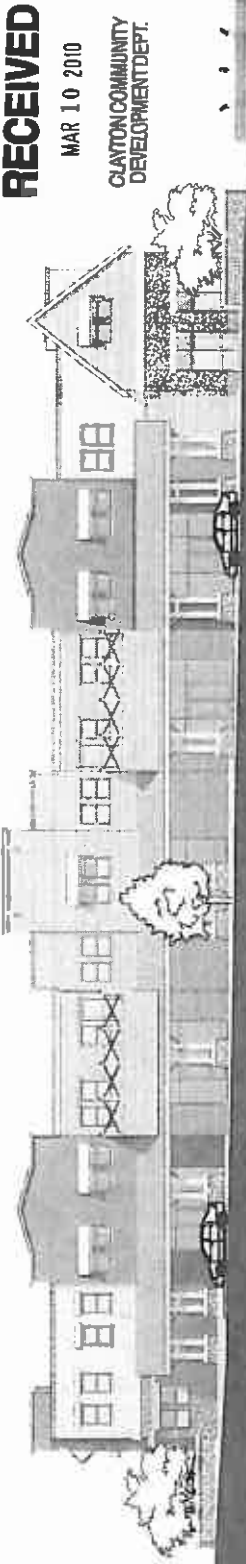
Sheet No.	Sheet Name	Revision
1	Site Plan	1
2	Site Plan	1
3	Site Plan	1
4	Site Plan	1
5	Site Plan	1
6	Site Plan	1
7	Site Plan	1
8	Site Plan	1
9	Site Plan	1
10	Site Plan	1
11	Site Plan	1
12	Site Plan	1
13	Site Plan	1
14	Site Plan	1
15	Site Plan	1
16	Site Plan	1
17	Site Plan	1
18	Site Plan	1
19	Site Plan	1
20	Site Plan	1



○ Vicinity Map
NOT TO SCALE

Creekside Terrace - Mixed Use Project

Land Use Entitlement Submittal Package



RECEIVED
MAR 10 2010
CLAYTON COMMUNITY
DEVELOPMENT DEPT.

The Sheet



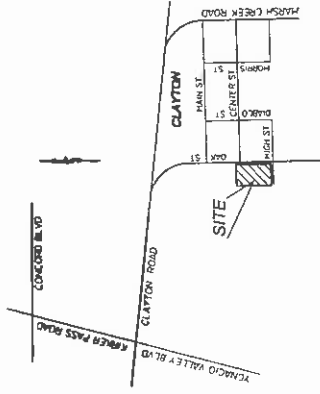
Creekside Terrace
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency

NO.	DATE	DESCRIPTION
1	3/10/10	1005 - 1007 Oak Street, Clayton, CA

PROJECT NO. 100715
MODEL FILE
DRAWN BY
CHECKED BY
DATE 3/10/10

SHEET 1 OF 17

VIZ/f/x
PO Box 974
Clayton, CA 94517



OF A WITNESS POST. ELEVATION

OF A WITNESS POST. ELEVATION



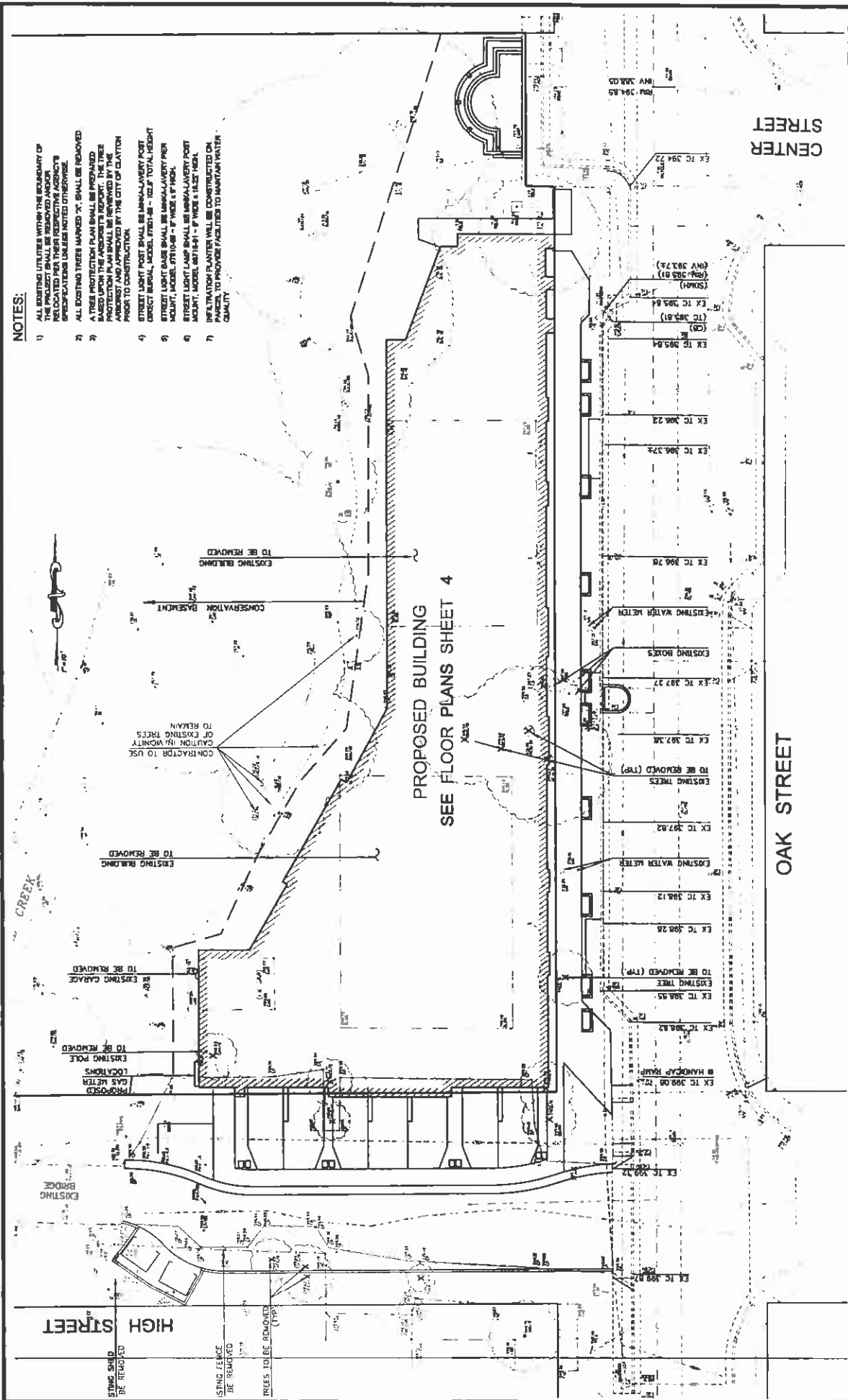
51
AK

SHEET INDEX	
SHEET	DESCRIPTION
1	TITLE SHEET
2	PERMITS AND MAP
3	PRELIMINARY GRADING PLAN
4	UTILITY CAYOUT
5	STORM WATER DRAINAGE PLAN

DeBolt Civil Engineering
811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/837-3790
Fax: 925/837-4378

TENTATIVE MAP 01-08
CREEKSIDE COMMONS
1005 & 1007 OAK STREET

TITLE SHEET



NOTES:

- 1) ALL EXISTING UTILITIES WITHIN THE BOUNDARY OF THE PROJECT SHALL BE REMOVED AND/OR RELOCATED FOR THEIR RESPECTIVE AGENCY'S SPECIFICATIONS UNLESS NOTED OTHERWISE.
- 2) ALL EXISTING TREES MARKED "X" SHALL BE REMOVED.
- 3) A TREE PROTECTION PLAN SHALL BE PREPARED AND SUBMITTED TO THE CITY OF CLAYTON PRIOR TO CONSTRUCTION.
- 4) STREET LIGHT POST SHALL BE MANULAVERY POST CORRECT SIGNAL, MODEL 1751-48 - 102' TOTAL HEIGHT.
- 5) STREET LIGHT BASE SHALL BE MANULAVERY PER SIGNAL, MODEL 1751-48 - 8' WIDE & 8" HIGH.
- 6) STREET LIGHT LAMP SHALL BE MANULAVERY POST SIGNAL, MODEL 1751-48 - 8' WIDE & 18.25" HIGH.
- 7) INFILTRATION PLANTER WILL BE CONSTRUCTED OR PLACED TO PROVIDE FACILITY TO MAINTAIN WATER QUALITY.

PROPOSED BUILDING
SEE FLOOR PLANS SHEET 4

CENTER STREET

OAK STREET

HIGH STREET

TM 2

VESTING TENTATIVE MAP

TENTATIVE MAP 01-08

CREEKSIDE COMMONS

1005 & 1007 OAK STREET

DeBot Civil Engineering

811 New Blaine Valley Road

San Jose, California 95128

Tel: 925/337-7790

Fax: 925/337-7790

#	REVISIONS	DATE

D

DATE: 4/26/2010

Scale: 1" = 10'

BY: JLD/JS

CHECKED: JLD/JS



FIRST LEVEL LAYOUT
1" = 10'

The layout shows a building with the following areas and dimensions:

- Garage Areas:**
 - Garage (Left): 11.5x, 17.3x, 18.7x, 20.6x
 - Garage (Middle): 20.6x, 20.6x, 20.6x, 20.6x
 - Garage (Right): 21.8x, 20.6x, 20.6x, 20.6x
- Common Areas:**
 - Common (Left): 11.5x, 17.3x, 18.7x, 20.6x
 - Common (Middle): 20.6x, 20.6x, 20.6x, 20.6x
 - Common (Right): 21.8x, 20.6x, 20.6x, 20.6x
- Retail Areas:**
 - Retail Area One: 20.6x, 20.6x, 20.6x, 20.6x
 - Retail Area Two: 20.6x, 20.6x, 20.6x, 20.6x
 - Retail Area Three: 20.6x, 20.6x, 20.6x, 20.6x
 - Retail Area Four: 20.6x, 20.6x, 20.6x, 20.6x
- Other Features:**
 - Elevator Common Area: 11.5x, 17.3x, 18.7x, 20.6x
 - Stairs: 11.5x, 17.3x, 18.7x, 20.6x
 - Common Area: 11.5x, 17.3x, 18.7x, 20.6x

SECOND LEVEL LAYOUT
1" = 10'

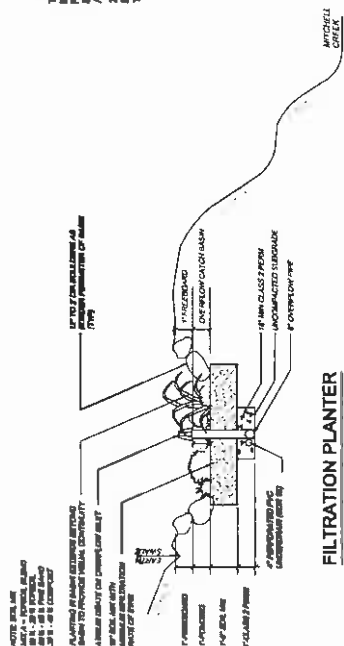
The layout shows the following areas and dimensions:

- UNIT 1:** 22' 1" x 26' 1" (top left), 17' 4" x 12' 8" (bottom left), 13' 4" x 8' 8" (middle left), 26' 1" x 23' 8" (bottom left), 13' 8" x 7' 2" (bottom left), 28' 8" x 14' 8" (bottom left), 22' 8" x 8' 2" (bottom left).
- UNIT 2:** 28' 8" x 22' 8" (bottom left), 31' 8" x 32' 4" (bottom left), 27' 8" x 27' 8" (bottom left), 18' 1" x 14' 2" (bottom left), 25' 0" x 12' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 4' 7" x 4' 7" (bottom left).
- UNIT 3:** 27' 8" x 27' 8" (bottom left), 31' 8" x 32' 4" (bottom left), 27' 8" x 27' 8" (bottom left), 18' 1" x 14' 2" (bottom left), 25' 0" x 12' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 4' 7" x 4' 7" (bottom left).
- UNIT 4:** 27' 8" x 27' 8" (bottom left), 31' 8" x 32' 4" (bottom left), 27' 8" x 27' 8" (bottom left), 18' 1" x 14' 2" (bottom left), 25' 0" x 12' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 4' 7" x 4' 7" (bottom left).
- UNIT 5:** 27' 8" x 27' 8" (bottom left), 31' 8" x 32' 4" (bottom left), 27' 8" x 27' 8" (bottom left), 18' 1" x 14' 2" (bottom left), 25' 0" x 12' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 4' 7" x 4' 7" (bottom left).
- UNIT 6:** 27' 8" x 27' 8" (bottom left), 31' 8" x 32' 4" (bottom left), 27' 8" x 27' 8" (bottom left), 18' 1" x 14' 2" (bottom left), 25' 0" x 12' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 4' 7" x 4' 7" (bottom left).
- UNIT 7:** 27' 8" x 27' 8" (bottom left), 31' 8" x 32' 4" (bottom left), 27' 8" x 27' 8" (bottom left), 18' 1" x 14' 2" (bottom left), 25' 0" x 12' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 10' 8" x 8' 8" (bottom left), 4' 7" x 4' 7" (bottom left).
- COMMON AREAS:**
 - ELEVATOR COMMON AREA:** 20' 0" x 20' 0" (top left).
 - COMMUNITY ROOM COMMON AREA:** 20' 0" x 20' 0" (top left).
 - LAUNDRY & STORAGE COMMON AREA:** 20' 0" x 20' 0" (top left).
 - COMMON AREA:** 20' 0" x 20' 0" (top left).

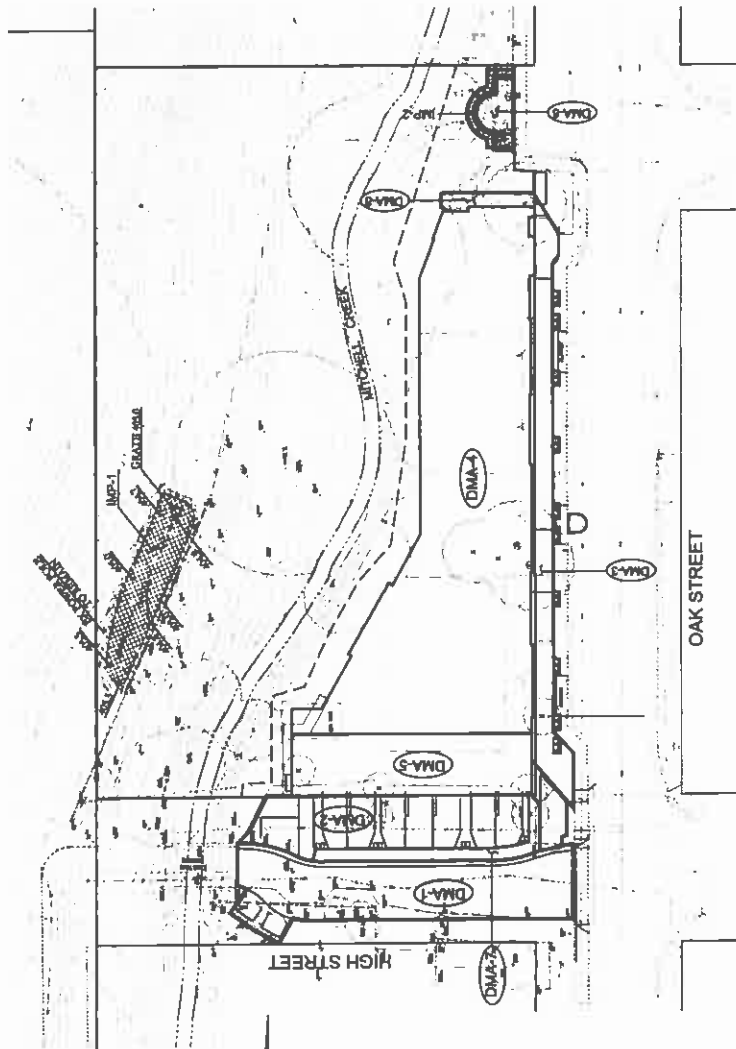
UNDERGROUND STORAGE REQUIREMENTS

THE SLOPE OF THE COMPAKED TREATMENT FACILITIES IN CONTRA COSTA COUNTY IS BASED UPON A STORM DEPTH OF 48 INCHES IN ORDER TO PREVENT UNTREATED RUNOFF FROM ENTERING THE STORM SYSTEM. THE PROJECT HAS PROVIDED UNDERGROUND STORAGE TO PREVENT THE TREATMENT FACILITIES FROM OVERFLOWING. THE AMOUNT OF STORAGE IS SUMMARIZED AS FOLLOWS:

2 BAYS (6' X 6' X 6')
 2 BAYS (6' X 6' X 6')
 2 BAYS (6' X 6' X 6')
 TOTAL STORAGE



FILTRATION PLANTER
 N.T.S.



Project Name: Oak Street
 Project Type: Treatment Only
 Location: Clayton
 APN: 119-050-024
 Drainage Area: 16450 sf
 Mean Annual Precipitation: 17.5 in

IV. Areas Draining to IMPs

IMP Name: OMP-1 (Soil Type: D)
 IMP Type: Stormwater Facility
 Soil Type: D

DMA	DMA	Peak	DMA	DMA	Factor	IMP	Rate
Area	Area	Runoff	Area	Area		Rating	
(sq ft)	(sq ft)	(cfs)	(sq ft)	(sq ft)			
DMA-1	2,000	0.001	1.00	2,000			
DMA-2	1,778	0.001	2.00	3,556			
DMA-3	1,400	0.001	1.00	1,400			
DMA-4	2,500	0.001	1.00	2,500			
DMA-5	2,000	0.001	1.00	2,000			
DMA-6	178	0.001	1.00	178			
DMA-7	800	0.001	1.00	800			
DMA-8	180	0.001	1.00	180			
TOTAL	12,000	0.001	1.00	12,000			

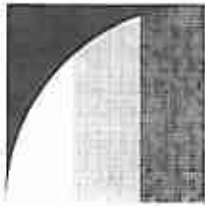
Software Tool Warnings
 No warnings to report.

DMA	AREA	SURFACE
DMA-1	2,000 SF	ASPHALT
DMA-2	3,556 SF	ASPHALT
DMA-3	1,400 SF	ROOF
DMA-4	2,500 SF	ROOF
DMA-5	2,000 SF	ROOF
DMA-6	178 SF	CONCRETE
DMA-7	800 SF	CONCRETE
DMA-8	180 SF	CONCRETE
TOTAL	12,000 SF	

IMP	SIZE
1	500 SF
2	60 SF

LEGEND

- IMP-SWALE / PLANTERS
- CATCH BASIN
- STORM DRAIN LINE
- EARTH SWALES
- DEMOTES AREA (DMA)
- DRAINAGE MANAGEMENT AREA
- INTEGRATED MANAGEMENT PRACTICE
- IMP



GATES & ASSOCIATES
LANDSCAPE ARCHITECTURE
URBAN PLANNING URBAN DESIGN
1005-1007 OAK ST. CLAYTON, CALIFORNIA 94520
TEL: 925-358-1700 FAX: 925-358-0074
WWW.GATES-ASSOCIATES.COM

CREEKSIDE TERRACE

1005-1007 OAK ST.
CLAYTON, CALIFORNIA

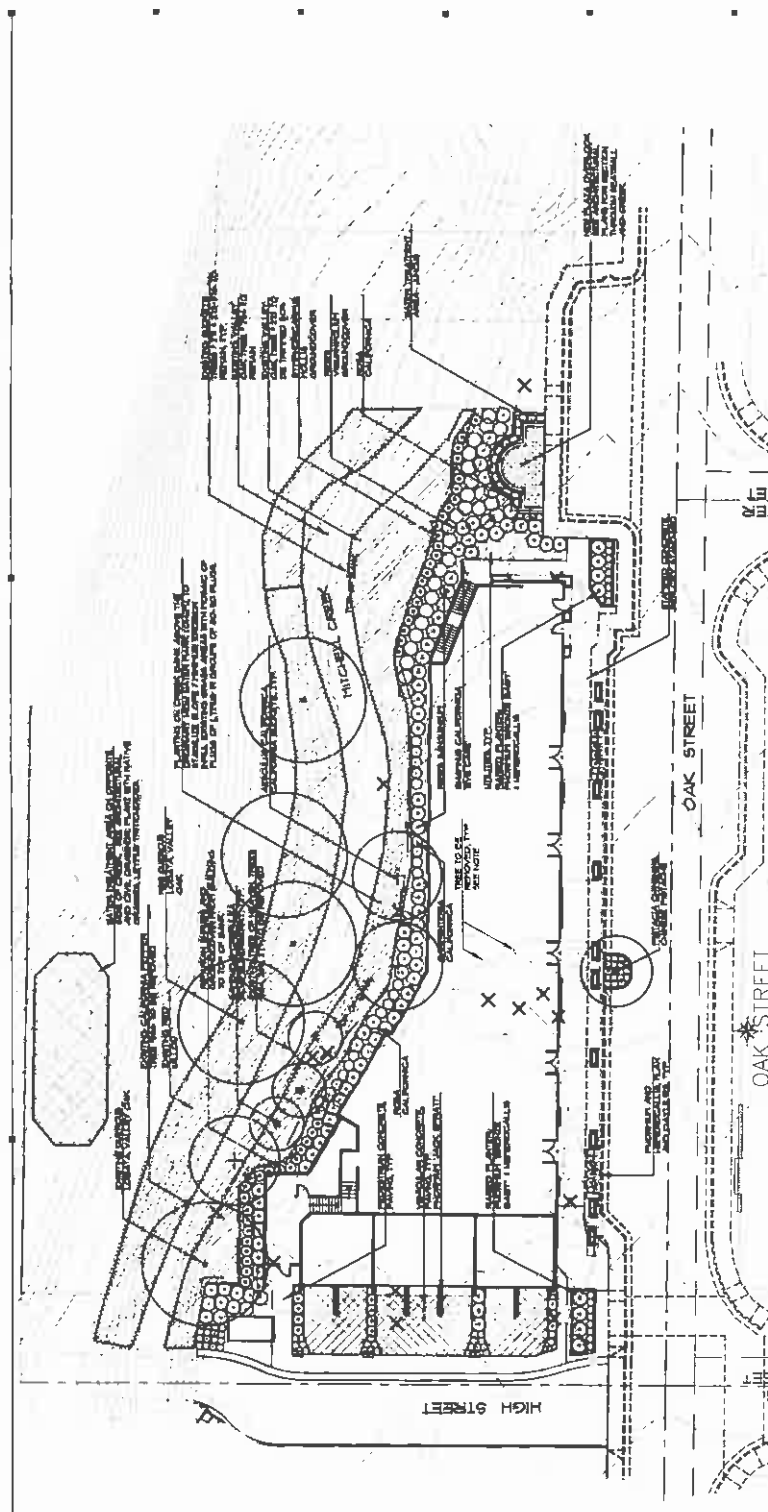
REVISION DESCRIPTION DATE



PROJECT NAME: CREEKSIDE TERRACE
PROJECT NUMBER: 1005-1007 OAK ST.
DATE: 10/1/2010
SCALE: 1" = 10' - 0"

PRELIMINARY PLANTING AND DRAIN ENHANCEMENT PLAN

PROJECT NUMBER: 1005-1007 OAK ST.
DATE: 10/1/2010
SCALE: 1" = 10' - 0"



NOTES

1. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
2. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
3. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
4. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
5. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
6. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
7. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
8. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
9. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
10. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.

PLANT LIST

COMMON NAME	QUANTITY	SIZE	SPACING
ACACIA	10	10' - 0"	10' - 0"
ALBANY	10	10' - 0"	10' - 0"
ALBANY	10	10' - 0"	10' - 0"
ALBANY	10	10' - 0"	10' - 0"
ALBANY	10	10' - 0"	10' - 0"
ALBANY	10	10' - 0"	10' - 0"
ALBANY	10	10' - 0"	10' - 0"
ALBANY	10	10' - 0"	10' - 0"
ALBANY	10	10' - 0"	10' - 0"
ALBANY	10	10' - 0"	10' - 0"

LAYOUT LEGEND

- 1. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 2. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 3. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 4. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 5. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 6. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 7. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 8. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 9. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 10. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.

TREE LEGEND

- 1. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 2. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 3. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 4. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 5. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 6. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 7. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 8. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 9. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.
- 10. ALL PLANTING SHALL BE INSTALLED BY 10/1/2010.

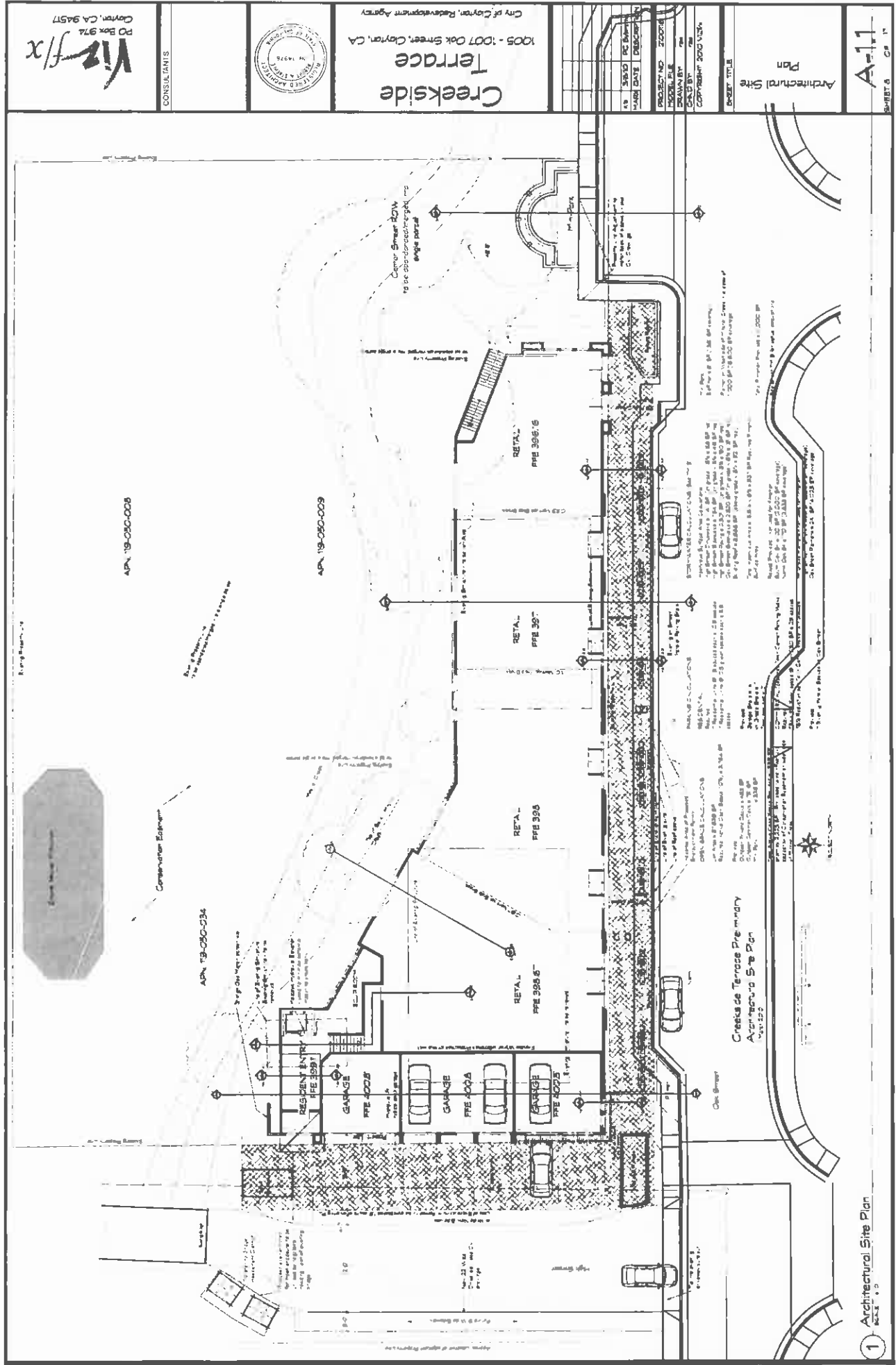
Architectural Site Plan

PROJECT NO. 220718
 PROJECT NAME
 DATE
 DRAWN BY
 CHECKED BY
 COMMENTS

1005 - 1007 Oak Street, Clayton, CA
 City of Clayton, Redevelopment Agency



Viz f/x
 PO Box 974
 Clayton, CA 94517



1st Floor Plan

SHEET TITLE

COPYRIGHT 2007 VIZ

DESIGNED BY

PROJECT NO.

MODEL FILE

DATE

DESCRIPTION

NO. 1 3000

NO. 2 3000

NO. 3 3000

NO. 4 3000

NO. 5 3000

NO. 6 3000

NO. 7 3000

NO. 8 3000

NO. 9 3000

NO. 10 3000

NO. 11 3000

NO. 12 3000

NO. 13 3000

NO. 14 3000

NO. 15 3000

NO. 16 3000

NO. 17 3000

NO. 18 3000

NO. 19 3000

NO. 20 3000

NO. 21 3000

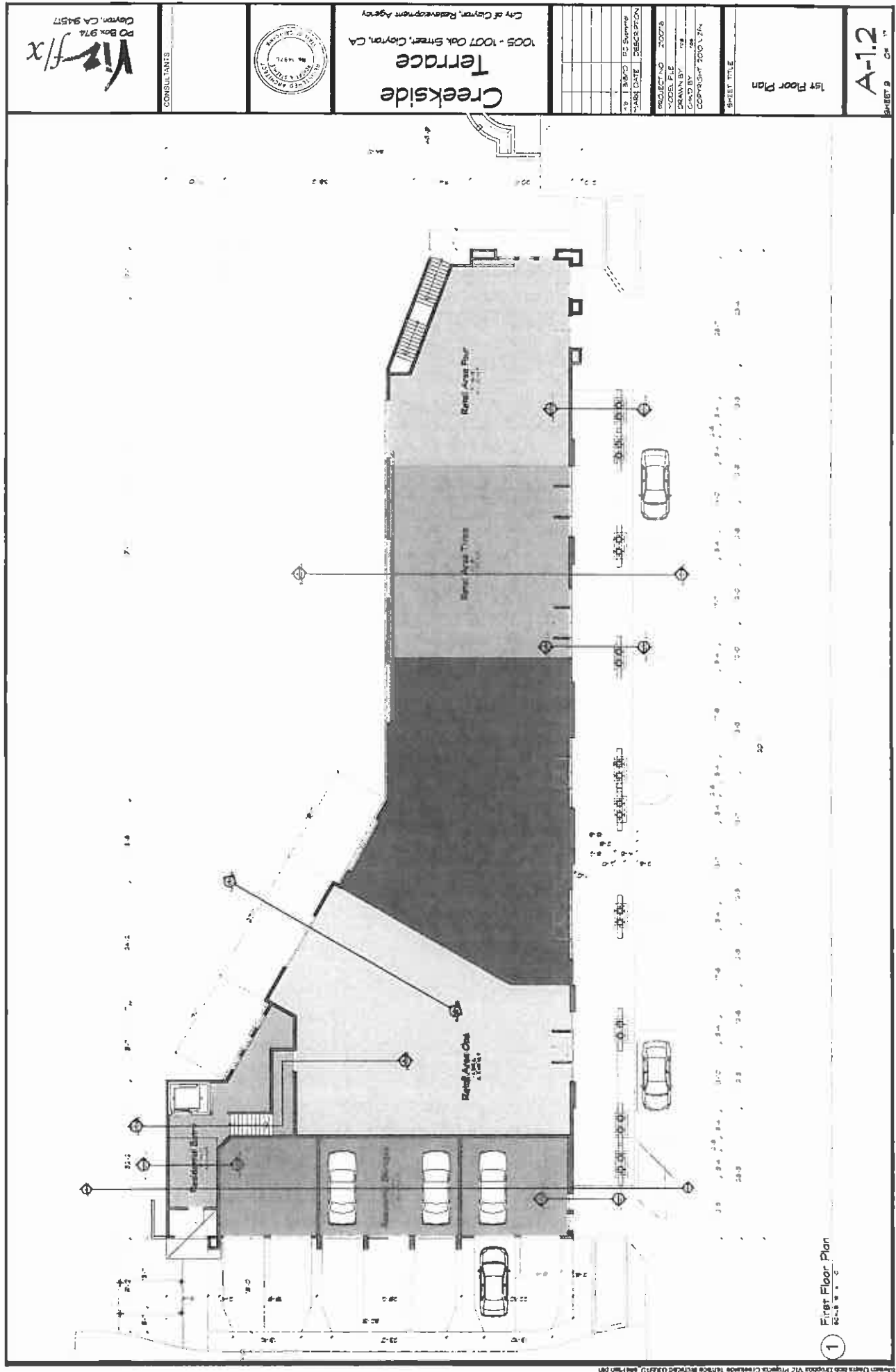
NO. 22 3000

NO. 23 3000

NO. 24 3000

NO. 25 3000

NO. 26 3000



1 First Floor Plan



Creekside Terrace
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency

CONSULTANTS

VIZ f/x
PO Box 974
Clayton, CA 94517

TM - Layout & Cut Sheets

542745

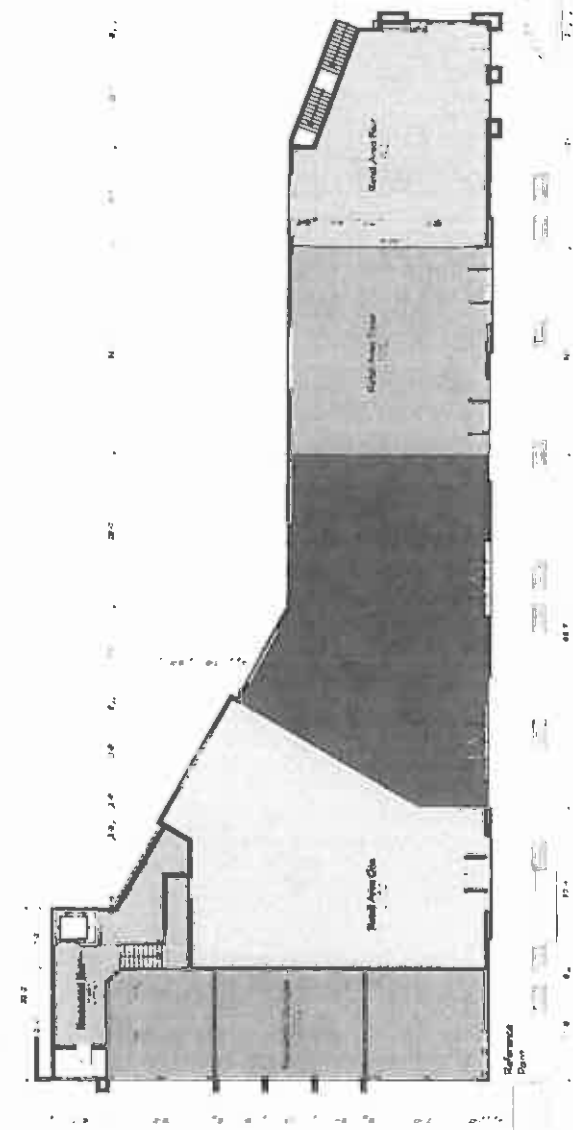
PROJECT NO.	220076
MODEL FILE	
DRAWN BY	756
CHECKED BY	756
DATE	12/12/14

Creekside
Terrace
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency



Y! 974
f/x
PO Box 974
Clermont, CA 94517

TM Layout 2nd Floor



TM Layout 1st Floor



Glass Flood Barrier



Wireless Hydraulic Passenger Elevators



Holeless Elevator Cut Sheet



Auto Lift Cut Sheet



1947-1948
 1949-1950
 1951-1952
 1953-1954
 1955-1956
 1957-1958
 1959-1960
 1961-1962
 1963-1964
 1965-1966
 1967-1968
 1969-1970
 1971-1972
 1973-1974
 1975-1976
 1977-1978
 1979-1980
 1981-1982
 1983-1984
 1985-1986
 1987-1988
 1989-1990
 1991-1992
 1993-1994
 1995-1996
 1997-1998
 1999-2000
 2001-2002
 2003-2004
 2005-2006
 2007-2008
 2009-2010
 2011-2012
 2013-2014
 2015-2016
 2017-2018
 2019-2020
 2021-2022
 2023-2024
 2025-2026
 2027-2028
 2029-2030
 2031-2032
 2033-2034
 2035-2036
 2037-2038
 2039-2040
 2041-2042
 2043-2044
 2045-2046
 2047-2048
 2049-2050
 2051-2052
 2053-2054
 2055-2056
 2057-2058
 2059-2060
 2061-2062
 2063-2064
 2065-2066
 2067-2068
 2069-2070
 2071-2072
 2073-2074
 2075-2076
 2077-2078
 2079-2080
 2081-2082
 2083-2084
 2085-2086
 2087-2088
 2089-2090
 2091-2092
 2093-2094
 2095-2096
 2097-2098
 2099-2100
 2101-2102
 2103-2104
 2105-2106
 2107-2108
 2109-2110
 2111-2112
 2113-2114
 2115-2116
 2117-2118
 2119-2120
 2121-2122
 2123-2124
 2125-2126
 2127-2128
 2129-2130
 2131-2132
 2133-2134
 2135-2136
 2137-2138
 2139-2140
 2141-2142
 2143-2144
 2145-2146
 2147-2148
 2149-2150
 2151-2152
 2153-2154
 2155-2156
 2157-2158
 2159-2160
 2161-2162
 2163-2164
 2165-2166
 2167-2168
 2169-2170
 2171-2172
 2173-2174
 2175-2176
 2177-2178
 2179-2180
 2181-2182
 2183-2184
 2185-2186
 2187-2188
 2189-2190
 2191-2192
 2193-2194
 2195-2196
 2197-2198
 2199-2200
 2201-2202
 2203-2204
 2205-2206
 2207-2208
 2209-2210
 2211-2212
 2213-2214
 2215-2216
 2217-2218
 2219-2220
 2221-2222
 2223-2224
 2225-2226
 2227-2228
 2229-2230
 2231-2232
 2233-2234
 2235-2236
 2237-2238
 2239-2240
 2241-2242
 2243-2244
 2245-2246
 2247-2248
 2249-2250
 2251-2252
 2253-2254
 2255-2256
 2257-2258
 2259-2260
 2261-2262
 2263-2264
 2265-2266
 2267-2268
 2269-2270
 2271-2272
 2273-2274
 2275-2276
 2277-2278
 2279-2280
 2281-2282
 2283-2284
 2285-2286
 2287-2288
 2289-2290
 2291-2292
 2293-2294
 2295-2296
 2297-2298
 2299-2300
 2301-2302
 2303-2304
 2305-2306
 2307-2308
 2309-2310
 2311-2312
 2313-2314
 2315-2316
 2317-2318
 2319-2320
 2321-2322
 2323-2324
 2325-2326
 2327-2328
 2329-2330
 2331-2332
 2333-2334
 2335-2336
 2337-2338
 2339-2340
 2341-2342
 2343-2344
 2345-2346
 2347-2348
 2349-2350
 2351-2352
 2353-2354
 2355-2356
 2357-2358
 2359-2360
 2361-2362
 2363-2364
 2365-2366
 2367-2368
 2369-2370
 2371-2372
 2373-2374
 2375-2376
 2377-2378
 2379-2380
 2381-2382
 2383-2384
 2385-2386
 2387-2388
 2389-2390
 2391-2392
 2393-2394
 2395-2396
 2397-2398
 2399-2400
 2401-2402
 2403-2404
 2405-2406
 2407-2408
 2409-2410
 2411-2412
 2413-2414
 2415-2416
 2417-2418
 2419-2420
 2421-2422
 2423-2424
 2425-2426
 2427-2428
 2429-2430
 2431-2432
 2433-2434
 2435-2436
 2437-2438
 2439-2440
 2441-2442
 2443-2444
 2445-2446
 2447-2448
 2449-2450
 2451-2452
 2453-2454
 2455-2456
 2457-2458
 2459-2460
 2461-2462
 2463-2464
 2465-2466
 2467-2468
 2469-2470
 2471-2472
 2473-2474
 2475-2476
 2477-2478
 2479-2480
 2481-2482
 2483-2484
 2485-2486
 2487-2488
 2489-2490
 2491-2492
 2493-2494
 2495-2496
 2497-2498
 2499-2500
 2501-2502
 2503-2504
 2505-2506
 2507-2508
 2509-2510
 2511-2512
 2513-2514
 2515-2516
 2517-2518
 2519-2520
 2521-2522
 2523-2524
 2525-2526
 2527-2528
 2529-2530
 253

Elevations

SHEET TITLE

PROJECT NO. 200105
MODEL FILE
DRAWN BY: JMS
CHECKED BY: JMS
DATE: 02-08-2005
CITY: CLAYTON, CA

NO. 3040 EC Summary
MAIN DATE: 02-08-2005

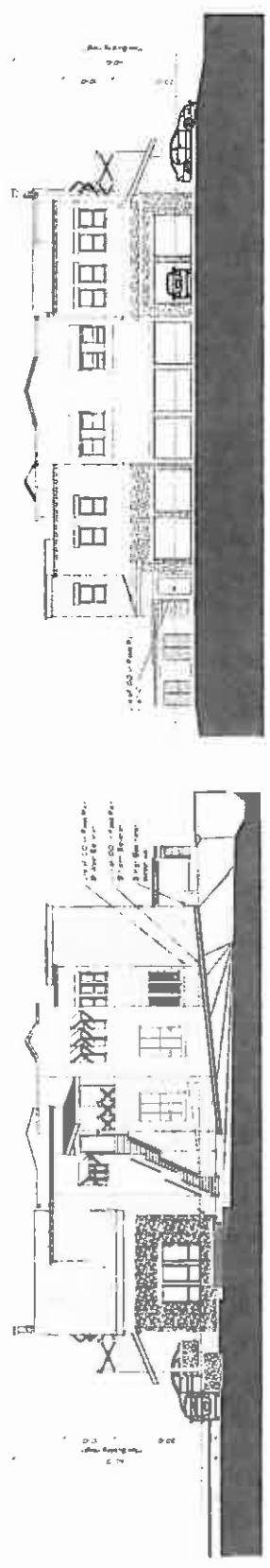
NO.	DESCRIPTION	DATE
1	3040 EC Summary	02-08-2005

Creekside Terrace
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency

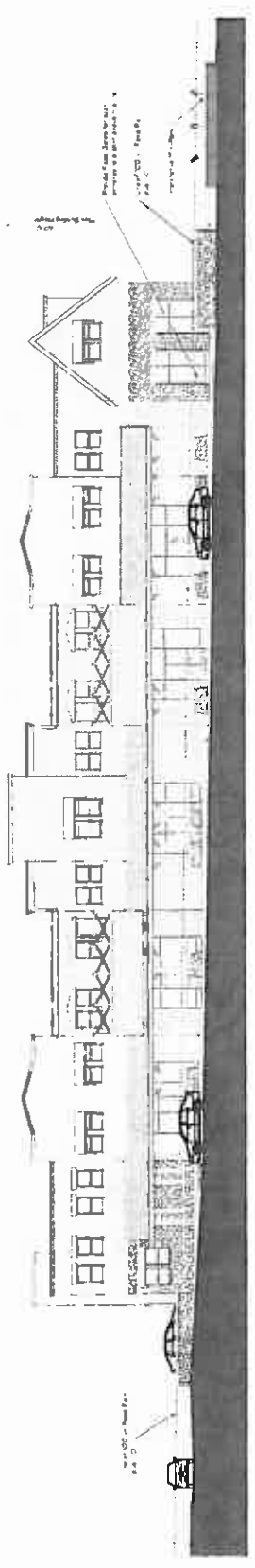


CONSULTANTS

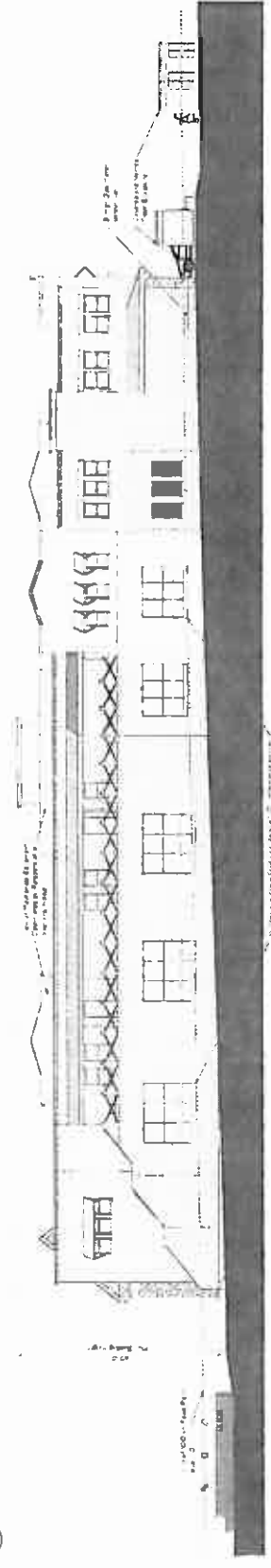
Viz f/x
PO Box 974
Clayton, CA 94517



North Elevation
Scale: 1/8" = 1'-0"



South Elevation
Scale: 1/8" = 1'-0"



East Elevation
Scale: 1/8" = 1'-0"



West Elevation
Scale: 1/8" = 1'-0"

Sections

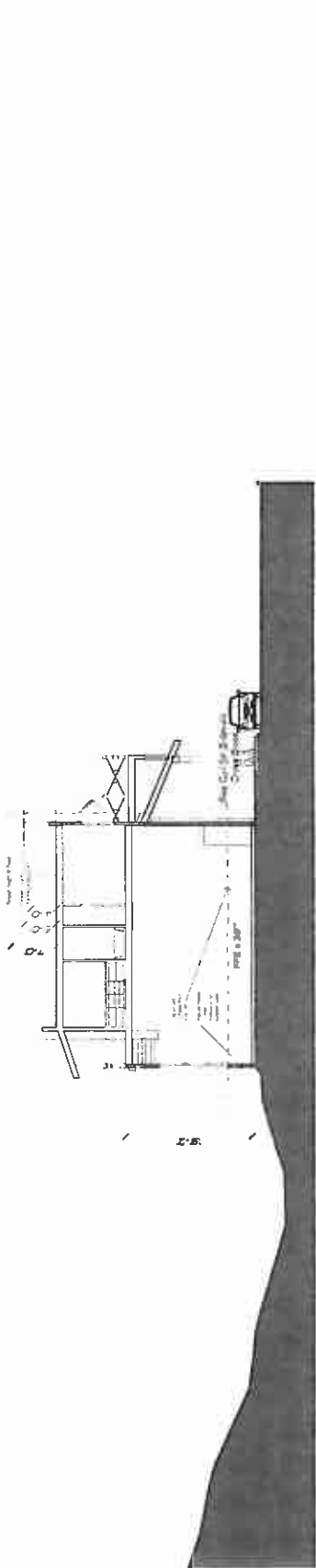
PROJECT NO	210013
MODEL FILE	
DRAWN BY	108
CHECK BY	108
CORPORATE	21001324
SHEET TITLE	

Creekside Terrace
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency



PO Box 974
Clayton, CA 94577

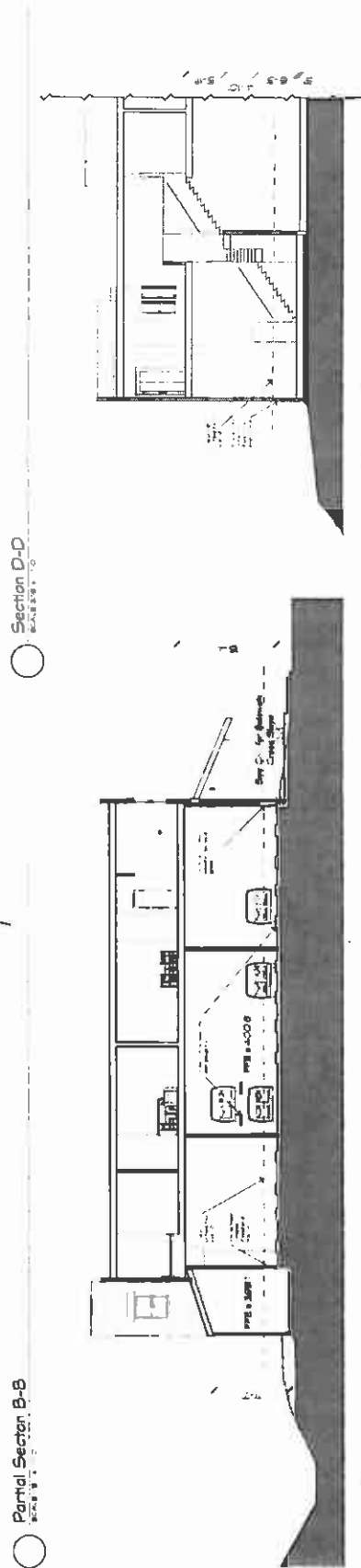
CONSULTANTS



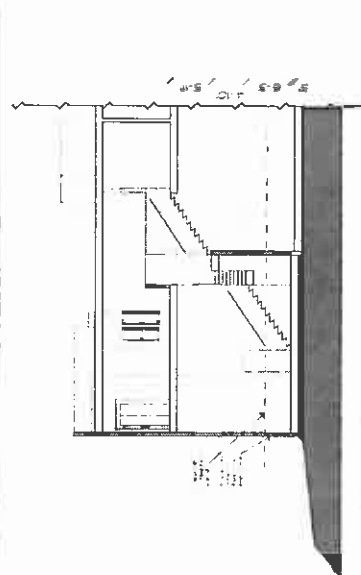
Section A-A



Partial Section B-B



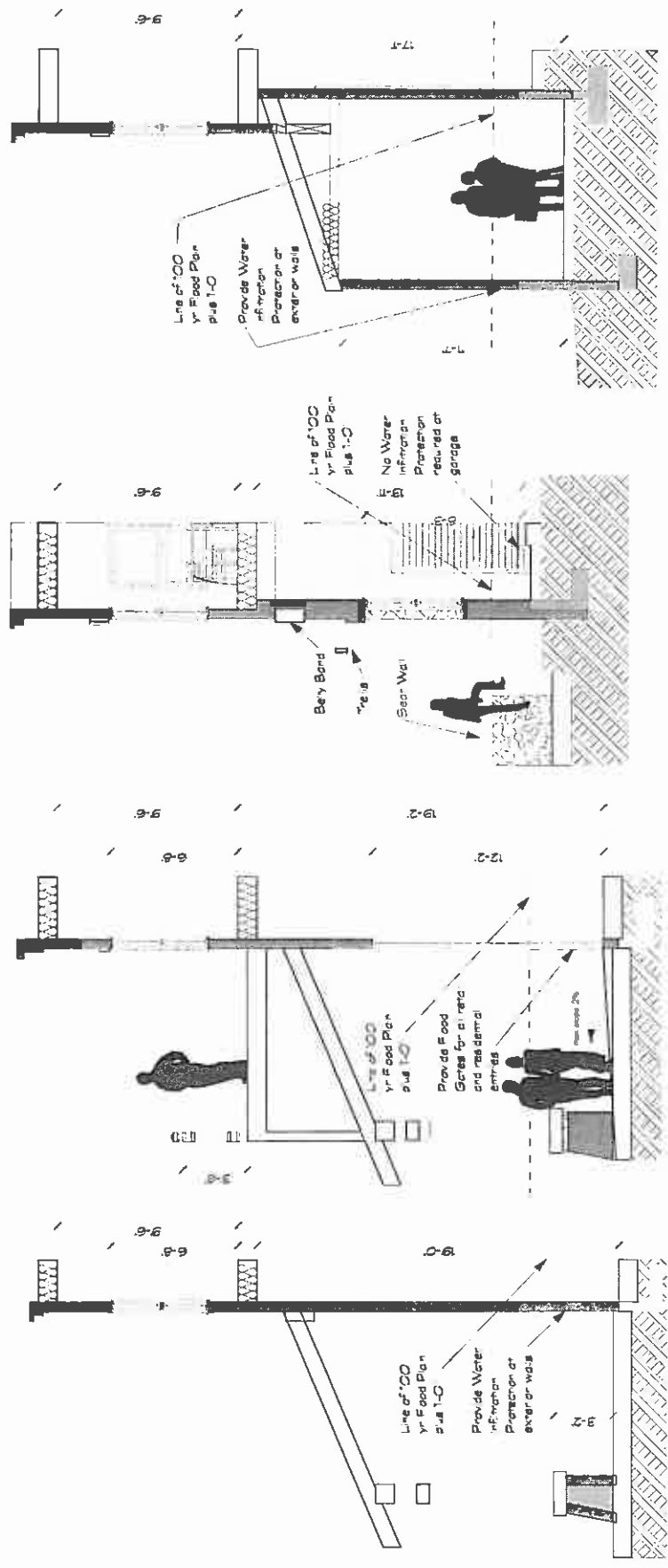
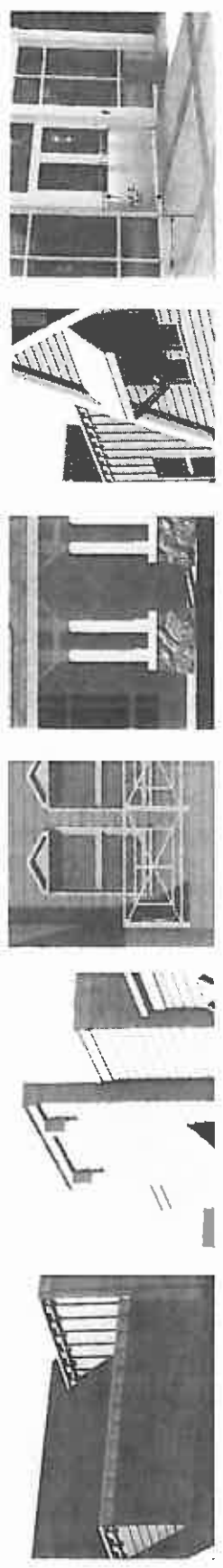
Section C-C



Partial Section E-E.

Wall Sections and Details

- ☐ Wall Section F-F
SCALE 1" = 2'
- ☐ Wall Section G-G
SCALE 1" = 2'
- ☐ Wall Section H-H
SCALE 1" = 2'
- ☐ Wall Section J-J
SCALE 1" = 2'
- ☐ Dental Molding
- ☐ Parapets
- ☐ Railing Detail
- ☐ Retail Columns
- ☐ Window Awning
- ☐ Flood Gates



Creekside Terrace
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency

CONSULTANTS

VIZ f/x
PO Box 974
Clayton, CA 94517

View From Flora
Square

SHEET TITLE

DATE: 10/1/10

PROJECT NO: 2005-3

MODEL FILE: 105

DRAWN BY: 105

CHECKED BY: 105

DATE: 10/1/10

BY: 105

DATE: 10/1/10

BY: 105

DATE: 10/1/10

BY: 105

DATE: 10/1/10

BY: 105

DATE: 10/1/10

BY: 105

DATE: 10/1/10

BY: 105

DATE: 10/1/10

BY: 105

DATE: 10/1/10

BY: 105

DATE: 10/1/10

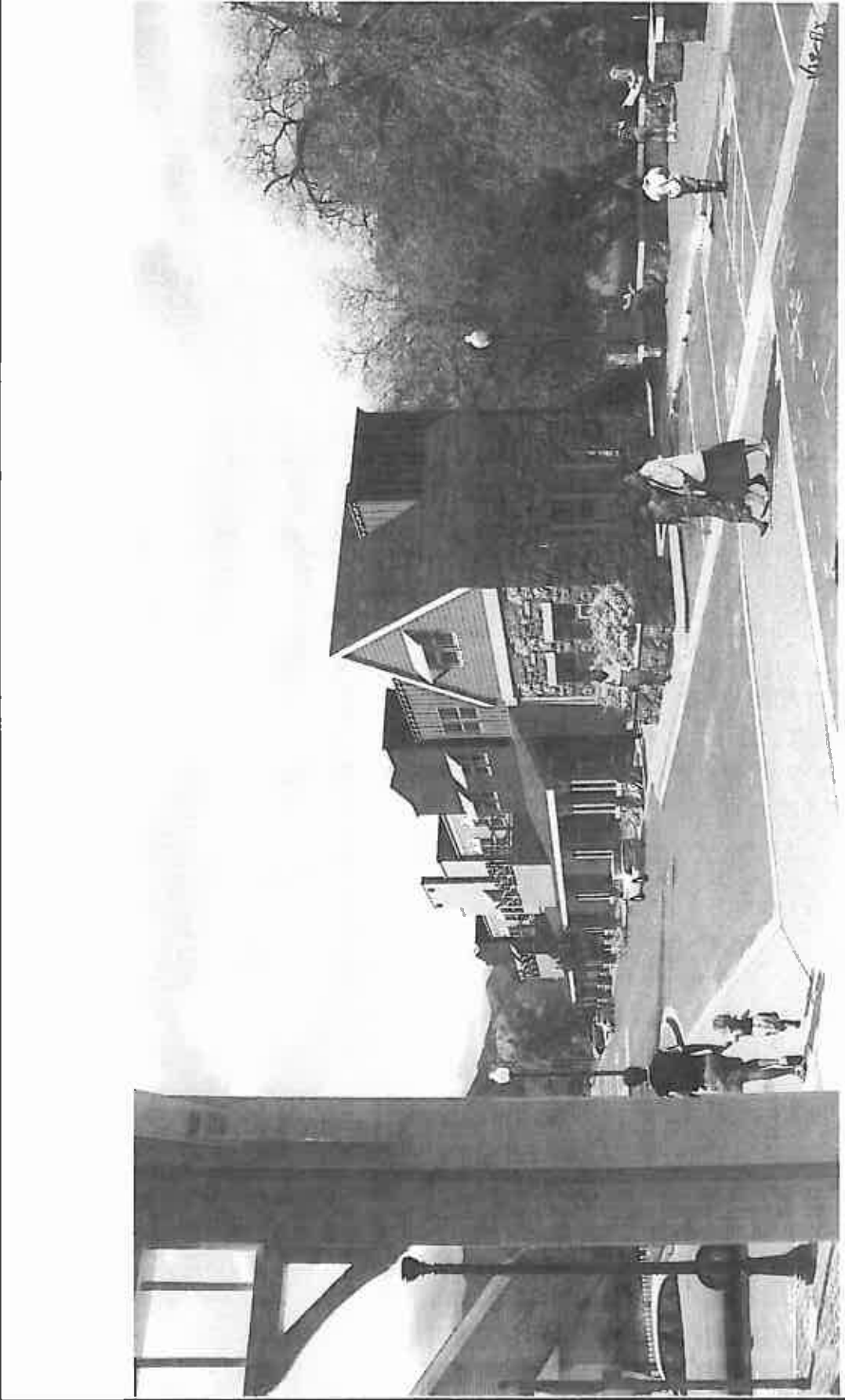
BY: 105

DATE: 10/1/10

BY: 105

DATE: 10/1/10

BY: 105



View from Flora Square



Creekside
Terrace
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency

CONSULTANTS

Viz
f/x
PO Box 974
Clayton, CA 94517

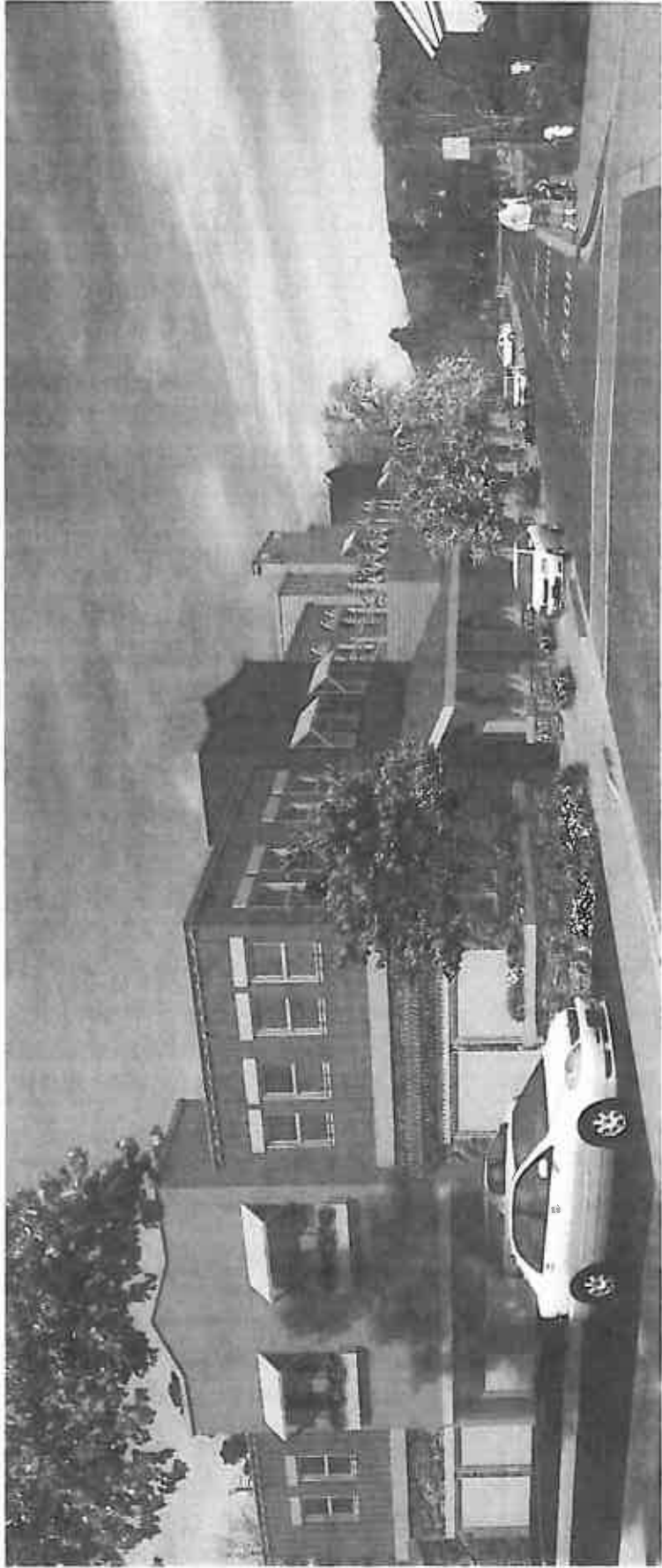
PROJECT NO.	2003-03
SHEET NO.	43
DATE	08/11/03
DESIGNED BY	SAVAN BY
CHECKED BY	SAVAN BY
APPROVED BY	SAVAN BY
DATE	08/11/03

Creekside Terrace
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency

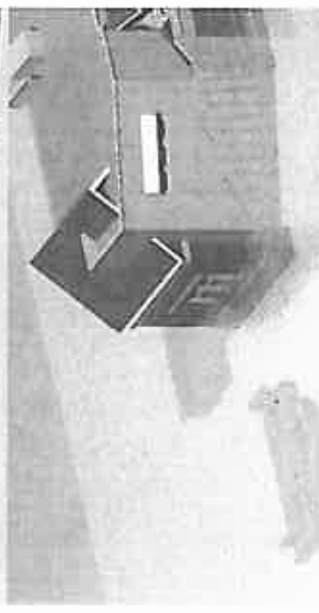


CONSULTANTS

WLF
f/x
PO Box 974
Clayton, CA 94517



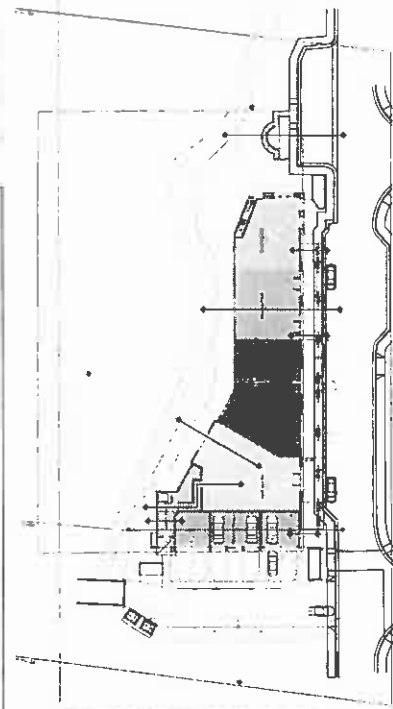
View from High Street



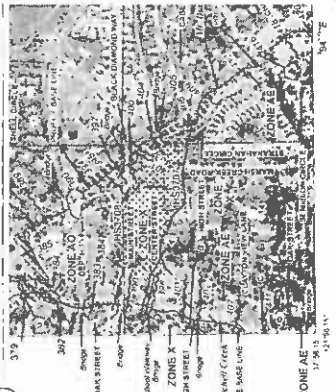
Estimated 100 yr. Flood plus 1'

Flood Contour

FEMA Detail



FEMA Flood Insurance Information



FIRM
Flood Insurance Risk Map
COMMERCIAL
FLOOD INSURANCE RISK MAP
FIRM NO. 17-010
DATE 10/10/00
FIRM NO. 17-010
DATE 10/10/00

NO.	DESCRIPTION	DATE
1	100 YR FLOOD PLUS 1'	10/10/00
2	100 YR FLOOD PLUS 1'	10/10/00
3	100 YR FLOOD PLUS 1'	10/10/00
4	100 YR FLOOD PLUS 1'	10/10/00
5	100 YR FLOOD PLUS 1'	10/10/00
6	100 YR FLOOD PLUS 1'	10/10/00
7	100 YR FLOOD PLUS 1'	10/10/00
8	100 YR FLOOD PLUS 1'	10/10/00
9	100 YR FLOOD PLUS 1'	10/10/00
10	100 YR FLOOD PLUS 1'	10/10/00



NOTES TO OWNER

1. This map was prepared by the City of Clayton, California, and is not a legal document. It is intended for informational purposes only.

2. The map shows the estimated 100 year flood plus 1' contour. It is not a guarantee of flood insurance coverage.

3. The map is based on the best available data and is subject to change without notice.

4. The map is not a substitute for a professional engineering or architectural drawing.

5. The map is not a substitute for a professional engineering or architectural drawing.

6. The map is not a substitute for a professional engineering or architectural drawing.

7. The map is not a substitute for a professional engineering or architectural drawing.

8. The map is not a substitute for a professional engineering or architectural drawing.

9. The map is not a substitute for a professional engineering or architectural drawing.

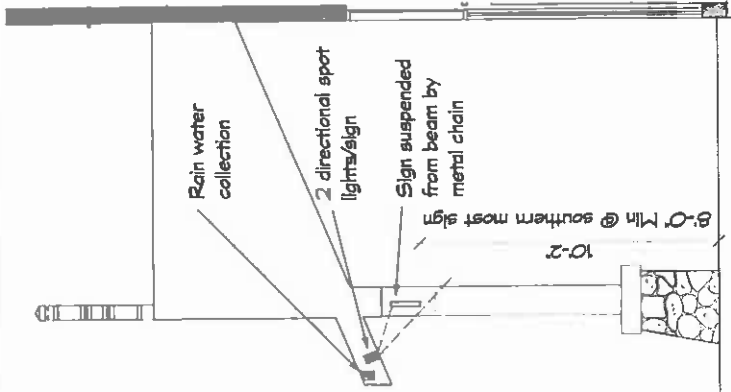
10. The map is not a substitute for a professional engineering or architectural drawing.



City of Clayton, Redevelopment Agency
1005 - 1007 Oak Street, Clayton, CA
Creekside Terrace

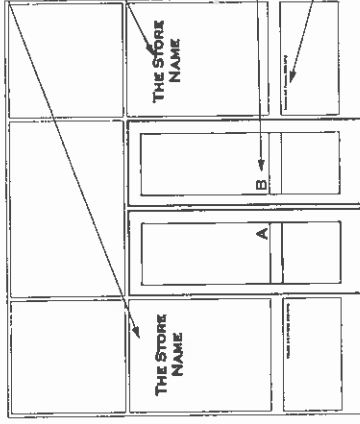
VIZ
f/x
PO Box 974
Clayton, CA 94517

CONSULTANTS



Sign Section
SCALE: 1/2" = 1'-0"

Note: High Street to have one monument sign to identify residential entry address. Plus stenciled 4" garage door identifiers (1-7 lower corner of door)



Store Front Stencil
SCALE: 1/2" = 1'-0"

Signage Calculations
200 lf Oak St. Frontage

200 sf max signage allowable

Hanging Signs: 7sf/sign x 7 signs = 49 total sf of hanging signage

Monument Sign: 2x10 = 20 sf of monument sign

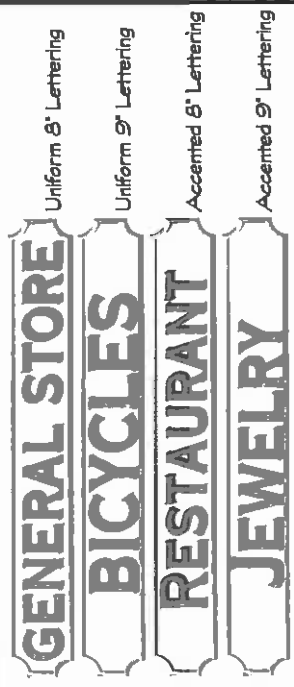
Max. 131 sf of window signage allowed. 109 sf/panel (12 panels)

Stencilled Lettering
Rust colored to match wood signs, typical

4" High Store Name
Centered. 40% of Glazed Area Max. or average 10.9 sf / glazed panel

4" Suite Label

1" High Hours and Emergency Contact Info



Lettering Styles - Font = Copper Plate Gothic
NOT TO SCALE

2" Deep Wood Sign with 1/2" recessed face

Signs suspended from beam @ overhang by metal chain and eyelets

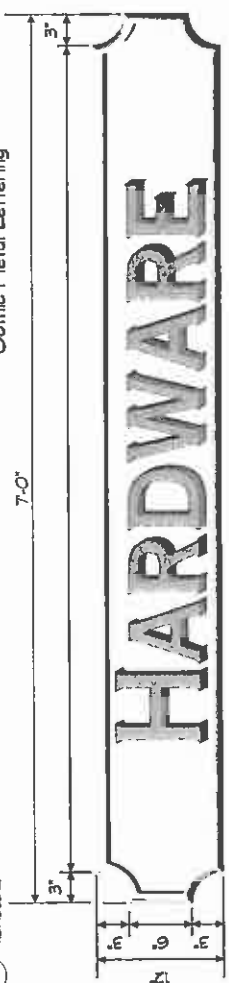
1" Radius edge

Painted Brown backing with Cream colored lettering field

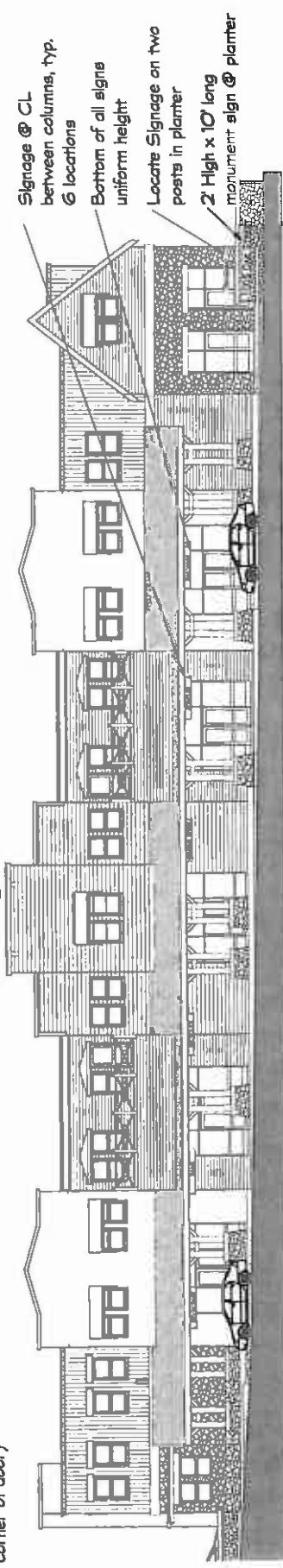
Rust colored 8" or 9" Raised Copper Plate Gothic Metal Lettering



Typical Sign Characteristics
NOT TO SCALE



Typical Hanging Sign Sizing
NOT TO SCALE



Signage Locations

**CREEKSIDE TERRACE
DRAFT CONDITIONS OF APPROVAL
AND ADVISORY NOTES
(ENV 01-08, DP 01-08, and MAP 02-09)**

These conditions of approval and mitigation measures apply to the following:

- Creekside Terrace Mixed Use Project Land Use Entitlement Submittal Package, dated March 8, 2010 (Planning Commission Submittal), comprised of the following: Title Sheet, Tentative Map Title Sheet, Vesting Tentative Map, Preliminary Grading and Drainage Plan, Preliminary Unit Layout, Storm Water Control Plan, Preliminary Landscape Plan, Architectural Site Plan, First Floor Plan, Second Floor Plan, Roof Plan, TM – Layout and Cut Sheets, Elevations, Sections, Wall Sections and Details, View from Flora Square, View from High Street, Flood Data, Building Signage Plan (April 23, 2010), and Color Material Board.
- Creekside Terrace Project Initial Environmental Study/Mitigated Negative Declaration (IES/MND), May 2010.

CEQA MITIGATION MEASURES (Creekside Terrace Project IES/MND, May 2010)

1. The following measures shall be adhered to during all construction phases of the Project:

- Earthmoving or other dust-producing activities shall be suspended during periods of high winds, (i.e., instantaneous wind gusts of 25 mph or greater);
- All exposed or disturbed soil surfaces shall be watered at least twice daily on any day of high winds or when construction activities occur, including weekends and holidays;
- Stockpiles of debris, soil, sand or other materials that can be blown by the wind, shall be watered with a soil stabilizer or covered;
- Construction areas, adjacent streets, and routes for construction traffic shall be swept of all mud and debris by a water sweeper on a daily basis (minimum) on any day when construction activities occur, including weekends and holidays;
- All trucks hauling soil, sand, or other loose materials shall be covered or maintain at least two feet of freeboard;

A compliance officer (City Engineer unless otherwise identified as part of the grading permit process) shall be responsible for implementation and monitoring of the above requirements. (Air Quality).

2. Pre-construction nesting surveys for raptors and migratory birds protected under the federal Migratory Bird Treaty Act shall be conducted if initial grading and building demolition is to be conducted during the months of March through August. A qualified biologist shall conduct the surveys no more than fourteen (14) days prior to initiation of grading, building demolition, or tree removal. If any of these species are found within

the construction area after April of the construction year, grading and construction in the area shall either stop or continue only after the nests are protected by an adequate setback approved by a qualified biologist. If permanent avoidance of nests is not feasible, impacts on raptor and migratory bird nests shall be minimized by avoiding disturbances to the nest location during the nesting season unless a qualified biologist verifies that the birds have either a) not begun egg-laying and incubation, or b) that the juveniles from those nests are foraging independently and capable of independent survival at an earlier date. No preconstruction surveys are required if grading, building demolition, or tree removal occurs outside the nesting season (September through February). (Biological Resources).

3. A preconstruction survey shall be conducted by a qualified biologist within seven (7) days of construction to confirm absence of any fish, amphibian, or reptile species of concern along the project reach of Mitchell Creek. In the remote instance that listed California red-legged frog or steelhead individuals are encountered, the U.S. Fish and Wildlife Service (USFWS) and National Marine Fisheries Service (NOAA Fisheries) shall be consulted to determine appropriate avoidance measures prior to initiation of any construction activities. Any western pond turtle encountered shall be relocated to secure pool habitat selected by the qualified biologist. (Biological Resources).
4. A qualified biologist shall be retained to oversee construction and ensure that no inadvertent take of California red-legged frog, steelhead, or western pond turtle occurs as a result of short-term disturbance near Mitchell Creek. This shall include the following provisions:
 - a) Prior to any grading or grubbing of the site, the qualified biologist shall conduct a preconstruction survey to confirm absence of any California red-legged frog, steelhead, or western pond turtle on the site, as called for in Mitigation Measure 3. A report summarizing the survey results shall be submitted to the Community Development Director.
 - b) Silt fencing shall be installed at the west edge of the construction zone and to the east and west of the top of bank, buried a minimum of six inches and extending a minimum of two feet above grade, to serve as a barrier to keep ground mobile wildlife dispersing along the creek corridor from entering the construction zone. The fencing shall remain in place during the entire construction period.
 - c) Construction workers shall be trained by the qualified biologist regarding the potential presence of California red-legged frog and western pond turtle, that these species are to be avoided, that the foreman must be notified if they are seen, and that construction shall be halted until appropriate measures have been taken. For California red-legged frog, work shall be halted until authorization to proceed is obtained from the USFWS. Harassment of California red-legged frog is a violation of federal law.
 - d) During the construction phase of the project, a qualified biologist or an on-site monitor (such as the construction foreman trained by the qualified biologist) shall check the site in the morning and in the evening of construction activities for the presence of California red-legged frog and western pond turtle. This includes checking holes, under vehicles and under boards left on the ground. If any California red-legged frog are found, construction shall be halted, and the monitor shall immediately notify the qualified biologist in charge and the USFWS. Construction shall not proceed until adequate measures are taken to prevent

dispersal of any individuals into the construction zone, as directed by the USFWS. Subsequent recommendations made by the USFWS shall be followed.

No one shall handle or otherwise harass any individual California red-legged frogs encountered during construction, with the exception of a Service-approved biologist. The qualified biologist in charge shall train the on-site monitor in how to identify California red-legged frog. (Biological Resources).

- 5A. The Tree Preservation Guidelines called for in the Tree Report (HortScience, 2008) shall be followed to preserve native oaks and other noteworthy trees on the site. Of particular concern is the large valley oak (Tree #272), which must be heavily pruned to prevent toppling and reduce the risk to humans and property. This tree shall be retained, and recommended pruning shall be performed under the supervision of a certified arborist. (Biological Resources).
- 5B. The project shall conform with the City of Clayton Tree Protection Ordinance (Chapter 15.70 of the Zoning Code), through adherence to the Tree Preservation Guidelines called for in the Tree Report and provisions for replacement plantings, which will be incorporated into the Final Landscape Plan. (Biological Resources).
6. Prior to commencement of construction-related activities for the project including, but not limited to, grading, staging of materials, or earthmoving activities, an archaeological monitor shall be retained by the applicant and approved by the City to train the construction grading crew prior to commencement of earth-grading activity in regard to the types of artifacts, rock, bone, or shell that they are likely to find, and when work shall be stopped for further evaluation. One trained crew member shall be on-site during all earth moving activities, with the assigned responsibility of "monitor." Should archeological, historical, or Native American artifacts or remains be discovered during construction of the Project, work in the vicinity of the find shall stop immediately until the resource(s) are evaluated and the appropriate means of curation is determined. Project personnel shall not collect or alter cultural resources. Identified cultural resources shall be recorded on forms DPR 422 (archeological sites) and/or DPR 523 (historic resources). (Cultural Resources).
7. Prior to the approval of building foundation plans, the plans shall indicate the anchoring of project structures to the bedrock or the construction of a subterranean retaining wall, for review and approval by the project soils engineer and the County Building Department. (Geology and Soils).
8. Prior to issuance of a grading permit, the Developer shall submit, for the review and approval by the City Engineer, an erosion control plan that utilizes standard construction practices to limit the erosion effects during construction of the proposed project. Actions should include, but are not limited to:
- Hydro-seeding;
 - Placement of erosion control measures within drainageways and ahead of drop inlets;
 - The temporary lining (during construction activities) of drop inlets with "filter fabric";

- The placement of straw wattles along slope contours;
 - Use of a designated equipment and vehicle “wash-out” location;
 - Use of siltation fences;
 - Use of on-site rock/gravel road at construction access points; and
 - Use of sediment basins and dust palliatives. (Geology and Soils).
9. Prior to issuance of a demolition permit by the City for any on-site structures, the Developer shall provide a site assessment, which determines whether any structures to be demolished contain asbestos. If any structures contain these materials or any other hazardous materials, the Developer shall submit an abatement plan consistent with local, state, and federal standards, subject to approval of the Contra Costa County Building Inspection Department. In addition, the site assessment shall include a site inspection and records review to determine the historic uses of the property, and whether any hazardous substances release(s) have occurred. If the assessment detects the presence of contaminated soils, a remediation plan consistent with local, state, and federal standards, shall be submitted for approval by the Contra Costa County Environmental Health Department. The abatement and remediation plan(s) shall identify the necessary measures that the applicant must comply with to fully remove any existing on-site hazards to the satisfaction of the Contra Costa County Environmental Health Department. (Hazards and Hazardous Materials).
 10. Prior to the issuance of building permits, the developer shall prepare a Storm Water Control Plan that includes both construction stage and permanent storm water pollution prevention practices to be submitted to the City Engineer for review. (Hydrology).
 11. All project contractors shall conform to the requirements of the “Best Management Practices for Construction Sites” required by the City, including detention and/or filter materials to preclude an increase in water quantity and quality impacts from debris and sediments entering the stormwater system over “pre-development” conditions.” The BMPs shall be included in the construction contracts for the review and approval by the City Engineer. (Hydrology).
 12. Prior to construction, the developer shall provide proof of State general permit coverage related to construction for stormwater.
 13. The project applicant shall commit the future property owners to fully fund the construction and perpetual maintenance of the storm drain system, including monitoring of the storm drain facilities. The funding mechanism shall be acceptable to the City and shall address costs for capital replacement, inflation, and administration. This shall include the preparation of an Operation and Maintenance Plan (OMP) consistent with the model proposed by the Contra Costa Clean Water Program. Any related review or administrative fees resulting from the OMP shall be the responsibility of the property owner. The OMP will “run with the land” and be enforceable on subsequent property owners of all residential and commercial lots. Maintenance activities may include but not be limited to:
 - Inspect planters for channels, exposure of soils, or other evidence of erosion. Clear any obstructions and remove any accumulation of sediment. Soils and plantings must be maintained.

- Inspect planters regularly and after storms.
 - Observe soil at the bottom of the planters or filter for uniform percolation throughout. If portions of the planter or filter do not drain within 48 hours after the end of a storm, the soil should be tilled and replanted. Remove any debris or accumulations of sediment.
 - Examine the vegetation to insure that it is healthy and dense enough to provide filtering and to protect soils from erosion. Replenish mulch as necessary, remove fallen leaves and debris, prune large shrubs or trees and mow turf areas. Confirm that irrigation is adequate and not excessive. Replace dead plants and remove invasive vegetation.
 - Abate any potential vectors by filling holes in the ground in and around the planters and by insuring that there are no areas where water stands longer than 48 hours following the storm. If mosquito larvae are present and persistent, contact the Contra Costa County Vector Control District for information and advice. Only a licensed individual or contractor should apply mosquito larvicides only when absolutely necessary.
 - All hardscape, walks, patios, driveways, parking areas, creeks, drainage inlets, gutters, etc. and trash and recycling areas to be routinely inspected, cleared of debris, and thoroughly cleaned every three months, or as required in the City's NPDES permit.
 - All inlets to be inspected for debris twice a year, with one of those inspections held on October 1st.
 - Planters should be checked for plant and landscape health. They should also be checked for removable amounts of silt. The landscape and planter soils should also be checked for aeration. (Hydrology).
14. All lots shall include deed restrictions, which provide City and other public agency personnel with the right of access to inspect all on-site stormwater control devices. The language in the deed shall be reviewed and approved by the City Engineer and City Attorney. (Hydrology).
 15. The developer shall provide for flood proofing of those portions of the building below one-foot above the 100-year flood surface elevation. The method of flood proofing shall include operating procedures and be subject to the approval by the City's Floodplain Administrator. (Hydrology).
 16. The Project developer shall pay a fair share contribution to the City of Clayton for impacts to police staffing directly related to impacts of the Creekside Terrace Project for a five-year period. The calculation and payment shall be made at the time of issuance of building permit for each of the Project's units (including residential and commercial units) and shall be approved in advance by the Clayton Police Chief and City Manager. (Public Services).
 17. The Project developer shall agree to the recordation of a conservation easement on the third parcel located west of Mitchell Creek, and shall assume full responsibility for the ongoing maintenance and upkeep of the parcel as well as the terminus of Center Street. The conservation easement shall preclude future development of said parcel while still

allowing limited improvements, such as the proposed infiltration planter associated with the Creekside Terrace project. (Public Services).

18. The Developer shall be responsible for all fees and environmental review costs, including those charged by the California Department of Fish and Game.

Site Plan Conditions

19. Section 17.37.030C. Waiver Period pertaining to Parking and Loading Requirements and related sections of the City's Municipal Code shall be extended through June 30, 2013. Accordingly, the developer shall pay in-lieu parking fees for seven (7) parking spaces given that 21 parking spaces are provided, whereas 28 parking spaces are required for this project.
20. Outdoor vending machines (except newspaper vending machines) are prohibited.
21. The electrical transformer for the project shall be installed in an underground vault.
22. The refuse and recycling container storage to be enclosed and connected to the sanitary sewer.
23. Refuse/recycling area shall be sized large enough to comply with State recycling requirements. Details of the refuse/recycling area shall be shown on site plan prior to recordation of map.
24. The Property Owner shall be responsible for placing the refuse and recycling containers in a location accessible to the refuse/recycling service provider on pick-up days. Once the service provider empties the refuse and recycling containers, the Property Owner shall promptly return the refuse and recycling containers to the designated enclosure.
25. All tenant leases and rental agreements shall stipulate that delivery truck unloading/loading activities from the travel lanes on High Street and Oak Street are prohibited during the time periods listed below. Delivery truck unloading/loading activities during the time periods listed below may take place from marked parking spaces. The restricted time periods are the thirty minutes prior to and following the normal start and end of classes on days when Mt. Diablo Elementary School is in session. This stipulation does not apply to common carriers such as United Parcel Service, Federal Express, etc.

Architectural Conditions

26. The architectural elevations shall be revised to show the following modifications:
 - a. The interior sides of all parapets shall be faced with cement plaster which is identical to the material and color used on the cement plaster areas of the exterior (i.e., outward-facing) elevations of the building.
 - b. The Oak Street elevation of the first-story garage shall incorporate enhanced architectural features (e.g., recessed, obscure, or high windows; or trellis with landscaping).
 - c. The garage doors shall utilize a carriage-appearing sectional roll-up design.
 - d. All windows shall be recessed a minimum of three inches.

- e. All rooftop equipment shall be screened from roads, the trail system, adjacent properties, and pedestrian areas to the maximum extent possible. The rooftop equipment shall be painted to match the color of the interior parapet.
- f. All minor and secondary rooftop equipment shall be clustered together and screened from roads, the trail system, adjacent properties, and pedestrian areas to the maximum extent possible.
- g. Any future re-painting of the project's Oak Street and High Street frontages shall provide for color distinction for the individual storefronts.
- h. All utility meters shall be properly screened.

Landscaping Conditions

- 27. The landscape plans shall have overall dimensions of 24" x 36"; shall be approved by the Community Development Director and Maintenance Department; shall satisfy and/or include the following:
 - a. Conform to the requirements of the State Department of Water resources "Model Water Efficient Landscape Ordinance", dated September 10, 2009, or locally adopted replacement ordinance in effect at the time of application for a building permit.
 - b. Trees in the public right-of-way shall comply with the City street tree list or as otherwise approved by City Maintenance.
 - c. All landscaped areas shall be planted at the following planting densities: five-gallon shrubs shall be at an average density of 1 shrub/5 feet; and one-gallon groundcover plantings shall be at an average density of 1 shrub/3 feet.
 - d. All trees shall be 24-inch box containers.
 - e. All trees shall be planted at least ten feet away from any public water, sewer, or storm drain lines. All trees shall be installed with support staking. All nursery stakes must be removed from trees. All trees planted within eight feet of a sidewalk or driveway shall be installed with root guards.
 - f. All anti-siphon water valves and ground-mounted utility equipment shall be screened with landscaping.
 - g. All on-site walkway hardscape areas shall be paved with a colored and wood-stamped paving surface which matches the color and texture of the sidewalks in the Town Center.
 - h. A layer of mulch two to four inches shall be applied and maintained in all landscape areas until groundcover plantings are fully established so as to cover exposed soils.
 - i. Show all existing and proposed public utilities within the project limits, including adjacent public right-of-way affected by the project.
- 28. Three sets of the Landscape and Irrigation Plans shall be submitted with the building plans for review and approval by the Community Development Department, Engineering Department, and the Maintenance Department. These plans shall be approved prior to issuance of building, grading, or encroachment permits.
- 29. Landscaping shall be installed in conformance with approved plans prior to approval for occupancy.

30. The Property Owner shall enter into an agreement with the City which ensures the Developer permanently maintains the on-site landscaping as well as the trees installed in the public right-of-way on Oak Street and High Street.

Engineering Conditions

Subdivision Number

31. While this is a one lot subdivision, its ultimate disposition will create at least eight separate ownerships, therefore it would qualify as a major subdivision and require the filing of a Final Map as opposed to a Parcel Map. Prior to the preparation and submittal of the Final Map, the developer shall obtain a subdivision number from the County.

Subdivision Boundary

32. The proposed boundary shown on the tentative map includes a portion of the Center Street right of way west of Oak Street. In lieu of abandoning the right of way, the City intends to close that portion of Center Street to traffic and issue a special encroachment permit for use by the Project. The developer shall revise modify the boundary on the Final Map to exclude any existing public street right of way.

Use of Public Street Right of Way

33. Prior to approval of the final map and/or any construction documents, the developer shall obtain a special encroachment permit allowing the uses and improvements shown on the tentative map over the northerly 19' of the High Street right of way, west of Oak Street.
34. Prior to approval of the final map and/or any construction documents, the developer shall obtain a special encroachment permit allowing the uses and improvements shown on the tentative map over the portion of the Center Street right of way, west of Oak Street, presently shown as being within the project boundary.
35. Prior to approval of the final map and/or any construction documents, the developer shall obtain a special encroachment permit allowing the uses and improvements shown on the tentative map over the portion of the Oak Street right of way, adjacent to project boundary.

Homeowners Association

Note: A developer has not indicated a preference regarding future ownership and maintenance responsibilities. For the purposes of these conditions of approval, it is assumed that all of the property will be "common area" with the exception of partition walls within each unit, either residential or commercial. Future owners (either commercial or residential) will have sole fee title interest only in the "airspace" within their units and will have a prorated share interest in all of the common areas and common area improvements (including the building itself). Maintenance of all common area improvements will be the responsibility of a Homeowners Association funded by the property owners. Should the

developer wish to propose a different approach, any change would have to be approved by the City of Clayton City Council.

36. Prior to approval of the final map, the developer shall submit the proposed Covenants, Conditions, and Restrictions (CC&Rs) for review and approval by the City. Prior to issuance of any certificate of occupancy, the developer shall have the City-approved CC&Rs recorded in the County Recorder's Office and a copy of the recorded documents submitted to the City. The CC&Rs shall include a provision barring any changes or revisions without prior approval by the City.
37. Prior to issuance of any certificate of occupancy, the developer shall form a Homeowners Association comprised of all the project property owners, both commercial and residential. The Homeowners Association shall be responsible for the operations and maintenance of all common area improvements and facilities, including stormwater, trash, and creek maintenance, monitoring, and reporting necessary to comply with NPDES requirements. Further, the Homeowners Association shall be responsible for the maintenance of all improvements located on existing street rights of way being utilized by the project under special encroachment permits and as shown on the tentative map.
38. The Developer shall record disclosure statements with the deeds for the project's lots. The disclosure statements shall be reviewed and approved by the City Attorney and the Community Development Director and shall address the following issues.
 - a. Special events occur throughout the year in the downtown area and at Endeavor Hall, which may temporarily increase noise levels at the residential properties as well as increase traffic and demand for parking.
 - b. Special events occur throughout the year in the downtown area which result in the closure of adjacent streets except for emergency vehicle access. During these events vehicular access to and from the project may be prohibited (i.e., Oak, High, Center, and Main Streets). Vehicular access to and from Oak Street via Roundhill Place will remain open.
 - c. Commercial land use and zoning designations on adjacent properties to the east of the project site allow a variety of commercial activities, including parking lots and multi-story commercial buildings. It is the policy of the City of Clayton to encourage commercial development of the commercially-zoned properties in the Town Center.
 - d. The City of Clayton owns the parcel (APN 119-016-005) at the northwest corner of High Street and Diablo Street. The property will initially be developed as a parking lot for the general public. In the future, the property may be developed as a multi-story parking structure or a multi-story commercial building.

Condominium Plan

39. Prior to issuance of any certificate of occupancy, the developer shall have prepared and recorded a condominium plan delineating the proposed commercial and residential units. The condominium plan shall be submitted to the City for review prior to recordation. A certified copy of the recorded condominium plan shall be provided to the City prior to issuance of any certificate of occupancy.

General Engineering Conditions

40. All work shall be designed and constructed in accordance with the Municipal Code, as well as the City's Standard Plans and Specifications, and to the satisfaction of the City Engineer.
41. Upon approval of the final map, the subdivision shall be annexed into the existing City of Clayton Street Light Assessment District.
42. Upon recording of the final map, the City shall be given a full size, reproducible, photo mylar copy of the recorded map and an electronic file of the map in a form which can be imported into AutoCAD, and configured as directed by the City Engineer. Upon completion of the improvements and prior to City Council acceptance, the City shall be given a full size, reproducible, photo mylar copy of the improvement plans, and an electronic version in AutoCAD, annotated to reflect any changes that occurred during construction and signed by the Project Engineer.
43. The Developer shall ensure that all project contractors shall conform to the requirements of the "Best Management Practices for Construction Sites" required by the City, including detention and/or filter materials to preclude an increase in water quantity and quality impacts from debris and sediments entering the stormwater system over "non-development" conditions.
44. The Developer shall identify the Best Management Practices for protection of air quality to minimize the generation of dust during construction. Such measures shall be included within the project grading plan and shall be approved prior to issuance of project grading permits.
 - a. Earthmoving or other dust-producing activities shall be suspended during periods of high winds (i.e., instantaneous wind gusts of 25 mph or greater);
 - b. Equipment and manpower for watering of all exposed or disturbed soil surfaces shall be provided at least twice daily on any day of high winds or when construction activities occur, including weekends and holidays. A dust suppressant, added to the water before application, shall be used;
 - c. Stockpiles of debris, soil, sand or other materials that can be blown by the wind, shall be watered or covered;
 - d. Construction area and adjacent streets shall be swept of all mud and debris, since this material can be pulverized and later re-suspended by vehicle traffic;
 - e. A compliance officer, responsible for implementation and monitoring, shall be identified as part of the grading permit process.
45. The Developer shall connect to the sanitary sewer system, obtain applicable permits, and pay applicable fees required by the City of Concord Public Works Department.
46. If archeological, historical, or Native American materials are uncovered during any construction or pre-construction activities on the site, all work within 100 feet of these

materials shall be immediately stopped. The Community Development Department and a qualified professional archeologist shall be notified. Work within this area shall not recommence until the archeologist has had an opportunity to evaluate the significance of the find, and outline appropriate mitigation measures, if they are deemed necessary.

47. Grading permits and stormwater permits shall be obtained from the City Engineer.
48. Construction sequencing and work times shall be adjusted as may be required by the City Engineer to minimize impacts and inconveniences during school drop-off and pick-up times.
49. Access to and over the High Street bridge at Mitchell Creek shall be maintained at all times for those residents residing located on the west side of the bridge.

Street Construction Conditions

50. High Street - All existing improvements are to be removed and new improvements constructed generally as shown on the tentative map and to the satisfaction of the City Engineer.
51. Oak Street - All existing improvements are to be removed and new improvements constructed generally as shown on the tentative map and to the satisfaction of the City Engineer, except for the proposed planter within the parking lane which is not approved.
52. The sidewalk along Oak Street shall be colored, stamped concrete and shall match the color and pattern of the Town Center sidewalks.
53. Upon completion of building construction, the existing pavement on Oak Street from Center Street to High Street, including the intersections and other areas as may be determined by the City Engineer, shall be slurry sealed and restriped to the satisfaction of the City Engineer.
54. Any existing street, sidewalk, curb, gutter, or other existing improvement which, in the sole opinion of the City Engineer, is damaged by any party at any time, either on or adjacent to the project site, shall be repaired by the Developer, at his sole cost, to the satisfaction of, and in the manner required by, the City Engineer.

Stormwater Control and Treatment Conditions

55. The improvement plans shall reflect that all on-site storm drain inlets shall be labeled "No Dumping – Drains to Creek" using thermoplastic stenciling or equivalent permanent method, subject to City approval.
56. Prior to issuance of any construction permits, a final Storm Water Control Plan, satisfying all of the latest requirements of the terms of the City's Stormwater Discharge Permit, shall be submitted for review and approval by the City.

57. The volume and rate of stormwater runoff from the site shall be comparable to pre-development conditions to the maximum extent practicable. The project shall bear the financial responsibility of the construction and perpetual maintenance (including monitoring and reporting) of these facilities with a funding mechanism acceptable to the City that addresses costs for capital replacement, inflation, and administration.
58. Any exterior building washing/cleaning, exterior window washing/cleaning or sidewalk washing/cleaning shall comply with Best Management Practices (inlets protected and water vacuumed) and be done only by a certified surface cleaner. Such certification shall be recognized by the Contra Costa Clean Water Program. In addition any contracts for such cleaning by the property owner or tenants shall also include language requiring the compliance with Best Management Practices and certification. Documentation, monitoring, and reporting shall be included in the Stormwater Operation and Maintenance (OMP).
59. All pest management practices for the site and building by the property owner and or tenants shall also and done by company that is Integrated Pest Management (IPM) Certified. Such certification shall be recognized by the Contra Costa Clean Water Program. In addition any contracts for such cleaning by the property owner or tenants shall also include language requiring the compliance with Best Management Practices and certification. Documentation, monitoring, and reporting shall be included in the OMP.
60. The Property Owner shall be responsible for the perpetual maintenance of the site's storm drain system, including the monitoring of the storm drain facilities. In addition, the Property Owner shall be responsible for any future stormwater quality and quantity reporting requirements by the Regional Water Quality Control Board.
61. The Mosquito and Vector Control District and its contractors shall have the right of access to conduct inspections and maintenance of all on-site drainage devices. Such rights shall be conveyed in the property owner documents and any property rental or lease documents.
62. The developer shall remove the existing curb cut and driveway apron across the sidewalk on the Oak Street frontage of the project site and shall restripe the pavement as required by the City Engineer. The replacement sidewalk shall be paved with a colored and wood-stamped paving surface which matches the color and texture of the sidewalks in the Town Center.
63. All work shall be designed and constructed in accordance with the *Municipal Code*, as well as the City's Standard Plans and Specifications.
64. The improvements to be installed by the Developer shall generally conform to those shown on the site plan, as said improvements may be modified by these conditions of approval and/or the City Engineer.

65. The Developer shall be solely responsible for obtaining any right of way and/or easements necessary to permit the construction of the proposed improvements.
66. The ramp across the sidewalk at the northwestern corner of the site, which is for refuse and recycling pickup purposes, shall meet ADA requirements as the ramp will cross the public sidewalk.
67. The Developer shall provide for flood proofing of those portions of the building below one-foot above the 100-year flood surface elevation. The method of flood proofing shall include operating procedures (e.g., location of storage of necessary materials, monitoring of possible flooding, timing of installation, etc.) and be subject to the approval of the City's Floodplain Administrator.

Agency Conditions

68. The Developer shall connect to the sewer system and obtain applicable permits required by the City of Concord Public Works Department.
69. The Developer shall satisfy Contra Costa County Fire Protection District requirements as follows:
 - a. Access must be capable of supporting the imposed fire apparatus loading of 37 tons. (503) CFC.
 - b. Access roadways (High Street) of less than 28-feet unobstructed width shall have signs posted or curbs painted red with the words *NO PARKING – FIRE LANE* clearly marked. (503.3) CFC.
 - c. The developer shall provide an adequate and reliable water supply for fire protection with a minimum fire flow of 1750 GPM. Required flow must be delivered from not more than one (1) hydrant flowing for a duration of 180 minutes while maintaining 20-pounds residual pressure in the main. (508.1, (B105) CFC.
 - d. The developer shall provide one (1) hydrant of the East Bay type. Final placement of hydrant(s) shall be determined by the Fire District. (C103.1) CFC.
 - e. The developer shall submit three (3) copies of site improvement plans indicating all existing or proposed hydrant locations and fire apparatus access for review and approval prior to obtaining a building permit. (501.3) CFC.
 - f. The required hydrant shall be installed, in service, and inspected by the Fire District prior to construction or combustible storage on site. (501.4) CFC.
 - g. The building proposed shall be protected with an approved automatic fire sprinkler system. Submit three (3) sets of plans to the Fire District for review and approval prior to installation. (903.2) CFC, Contra Costa County Ordinance 2007-47.
 - h. Vegetation clearance requirements in urban-wildland interface areas shall be in accordance with the *International Wildland-Urban Interface Code*. (304.1.2) CFC.

- i. The developer shall submit three (3) complete sets of building plans and specifications of the subject project, including plans for the following required submittals, to the Fire District for review and approval prior to construction to ensure compliance with minimum requirements related to fire and life safety. Plan review fees will be assessed at that time.
 - Private underground fire service water mains
 - Fire sprinklers

Plans are to be submitted to: Contra Costa County Fire Protection District
2010 Geary Road
Pleasant Hill, CA 94523

The Fire District reference for this project is as follows:

CCCFPD Project No.: 113977-PL

70. The Developer shall provide an adequate number of hydrants of the "East Bay" type at locations determined by the Fire Protection District.
71. Prior to approval of building permit, the Developer shall obtain written approval from Allied Waste Services that the facility can be serviced and the waste container options that would be acceptable given the range of tenant occupancies within the project and submit such written documentation to the Community Development Department.
72. The property owner is responsible for ensuring refuse and recycling pickup services are provided as often as necessary in order to ensure refuse and recycling receptacles do not overflow. Documentation, monitoring, and reporting shall be included in the OMP.
73. Prior to building permit approval applicant/developer shall provide documentation that the waste/recycling area can meet state regulations regarding mandatory space for recycling.
74. The Developer shall obtain a building permit from the Contra Costa Building Department in accordance with applicable California Building Code (CBC) requirements prior to commencement of the construction of the project.

Standard Condition

75. The applicant agrees to indemnify, protect, defend, and hold harmless the City and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes, proceedings, suits, damages, judgments, liens, levies, costs, and expenses of whatever nature, including, but not limited to, attorney's fees, costs, and disbursements arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City relating to this entitlement, and any environmental review conducted under the California Environmental Quality Act for this entitlement and related actions.

Advisory Notes

Advisory notes are provided to inform the applicant of: (a) *Clayton Municipal Code* requirements; or (b) requirements imposed by other agencies. The advisory notes are not part of the conditions of approval.

1. Prior to obtaining a building permit, the applicant shall prepare an erosion and stormwater control plan for review and approval by the City Engineer (CMC § 13.12.050).
2. Prior to commencement of grading, demolition or construction activities the applicant shall obtain City approval of a construction and demolition recycling plan (CMC § 15.80.040).
3. Prior to performing any work in the public right of way, the applicant shall obtain an encroachment permit from the City Engineer.
4. Prior to any grading or construction, the applicant shall obtain a Stormwater Permit from the City Engineer.
5. An administrative use permit from the Community Development Director is required for any outdoor seating.
6. A master sign plan must be approved by the Planning Commission prior to installation of any signage.
7. A tree removal permit is required prior to removing any trees with a single or multiple trunk diameter of six inches or greater (CMC §15.70.020).
8. All grading, construction, and other work shall occur only between 7:00 a.m. and 5:00 p.m. Monday through Friday. Any such work beyond these hours and days is strictly prohibited unless previously authorized in writing by the City Engineer (CMC §15.01.010) located at 1005 Oak Street, 925-672-9700.
9. The applicant shall obtain the necessary building permits from the Contra Costa County Building Inspection Department.
10. The applicant shall comply with all applicable state, county, and city codes, regulations, and adopted standards.
11. The site plan permit, use permit, and sign permit shall be used, exercised, or established within twelve months after the granting of the Permit, or a time extension must be obtained from the Planning Commission, otherwise the Permit shall be void (CMC §17.64.010-030).

12. Additional requirements may be imposed by the Contra Costa County Fire Protection District. Before proceeding with the project, it is advisable to check with the Fire District located at 2010 Geary Road, Pleasant Hill, 925-930-5500.
13. Development impact and related fees (including, but not limited to, community facilities development, off-site arterial improvement, childcare, parkland dedication, open space in-lieu, and habitat conservation fees) shall be paid per applicable City Code regulations and resolution.

DP\2008\01-08-COA-Draft-1