



Agenda
Planning Commission Meeting
7:00 P.M. on Tuesday, January 24, 2012
Hoyer Hall, Clayton Community Library, 6125 Clayton Road, Clayton

CALL TO ORDER, ROLL CALL, PLEDGE TO THE FLAG

Administrative

- 1A. Review of agenda items.
- 1B. Vice Chair Haydon to report at the City Council meeting on February 7, 2012.

Public Comment

Approval of Minutes

- 2. Approval of minutes from the meeting of December 13, 2011.

Public Hearing

- 3. **SPR 01-12, Site Plan Review Permit, Clayton Station, 5441 – 5443 Clayton Road, APN 119-031-051.** A request for a Site Plan Review Permit to consider allowing various minor exterior modifications and improvements to the existing building and associated adjacent exterior areas.

Proposed Action: Approval, with conditions.

Old Business

- 4. None.

New Business

- 5. None.

Communications

- 6A. Staff.
- 6B. Commission.

Adjournment

- 7. The next meeting of the Planning Commission is scheduled for **Tuesday, February 14, 2012.**

Most Planning Commission decisions are appealable to the City Council within ten (10) calendar days of the decision. Please contact Community Development Department staff for further information immediately following the decision. If the decision is appealed, the City Council will hold a public hearing and make a final decision. If you challenge a final decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing(s), either in oral testimony at the hearing(s) or in written correspondence delivered to the Community Development Department at or prior to the public hearing(s). Further, any court challenge must be made within 90 days of the final decision on the noticed matter. If you have a physical impairment that requires special accommodations to participate, please contact the Community Development Department at least 72 hours in advance of the meeting at 925-673-7340. An affirmative vote of the Planning Commission is required for approval. A tie vote (e.g., 2-2) is considered a denial. Therefore, applicants may wish to request a continuance to a later Commission meeting if only four Planning Commissioners are present. Any writing or documents provided to the majority of the Planning Commission after distribution of the agenda packet regarding any item on this agenda will be made available for public inspection in the Community Development Department located at 6000 Heritage Trail during normal business hours.

Minutes
Clayton Planning Commission Meeting
Tuesday, December 13, 2011

Call to Order

Chair Dan Richardson called the meeting to order at 7:00 p.m. at Endeavor Hall, 6008 Center Street, Clayton.

Present: Chair Dan Richardson, Vice Chair Keith Haydon, Commissioner Bob Armstrong, Commissioner Sandra Johnson, and Commissioner Gregg Manning

Absent: None

Staff: Community Development Director David Woltering

Administrative

1A. Review of agenda items.

1B. Commissioner Johnson to report at the City Council meeting on December 20, 2011.

Public Comment

None.

Approval of Minutes

2. Approval of minutes from the meeting of November 22, 2011.

Commissioner Johnson moved and Commissioner Armstrong seconded a motion to approve the minutes, as presented. The motion passed 3-0, with two abstentions (Vice Chair Haydon and Commissioner Manning abstained as they were not in attendance at the November 22, 2011 meeting).

Public Hearing

3. None.

Old Business

4. None.

New Business

5. **GPA 03-11, ZOA 06-11, Housing Element Implementation Measures, City of Clayton.** The Clayton Community Development Department has scheduled a public meeting regarding proposed Housing Element implementation measures which include the following:

- General Plan Amendment to create a Multi-Family High density designation allowing 15.1-20 dwelling units per acre;
- Zoning Ordinance Amendment to create a Multi-Family Residential High (M-R-H) classification allowing 15.1-20 dwelling units per acre;
- Zoning Ordinance Amendment to allow an emergency shelter by right in a zoning designation (to be determined);
- Zoning Ordinance Amendment to add separate definitions for supportive and transitional housing and allowing supportive and transitional housing as a permitted use subject to the residential standards of the district;
- Zoning Ordinance Amendment to allow SRO's (single room occupancy residential units) in the Limited Commercial zone subject to a Conditional Use Permit;
- Zoning Ordinance Amendment to only allow Single-family homes in the Multi-family residential zoning districts with a Conditional Use Permit; and
- Zoning Ordinance Amendment to remove the number of persons per household limit.

Director Woltering presented the staff report. He indicated the City of Clayton adopted its current 2009-2014 Housing Element on April 20, 2010, and that this Housing Element was then conditionally certified by the State of California Department of Housing and Community Development (HCD) on July 15, 2010. Mr. Woltering stated the State's certification was conditioned that the City of Clayton follow through with the implementation program in the City's General Plan Housing Element. He described the implementation program as having many measures to help facilitate the production of affordable housing within the City of Clayton. He said the measures ranged from creating a higher density multiple family residential General Plan and Zoning designation/classification (15.1 to 20 dwelling units per acre) to then redesignating and reclassifying enough property within Clayton to facilitate the construction of 50 affordable housing units within the community to adopting Zoning Ordinance amendments to allow for emergency shelter, supportive and transitional, as well as single room occupancy housing at specified locations within the City of Clayton.

Director Woltering stated staff was proposing that the full range of implementation measures be divided into smaller bundles of related measures to bring to the Planning Commission for initial review and then further processing for needed approvals of pertinent General Plan amendments and Zoning Ordinance amendments at public hearings before the Planning Commission and the City Council. He then described the measures staff was proposing for review and comment as part of the initial bundle of implementation measures. The measures he described are as follows:

Implementation Measure (I.1.1) The City will promote the development of the Affordable Housing Opportunity sites identified in Table 42 of the Housing Element, Vacant Residential Land (i.e., High Street parcel (Site V-2) and Old Fire Station site (Site V-5)) by creating a General Plan Multi-Family High Density designation to allow for 15.1 to 20 units per acre and create a new Zoning District Multi-Family Residential High (M-R-H) to allow up to 20 units per acre.

This implementation measure also indicates the City will consider redesignating/rezoning additional properties besides Sites V-2 and V-3 to a General Plan designation of Multi-Family High Density and a Zoning classification of Multi-Family High Density to allow up to 20 units per acre. These additional properties are located on or in the immediate vicinity of Old Marsh Creek Road near Clayton's downtown. These properties are described in Implementation Measure I.1.1 as P-2, P-3, and P-4. Additionally, since the adoption and certification of the City's Housing Element, the owner of an adjoining property, identified as Assessor's Parcels 119-021-019 and 119-021-020 has indicated an interest in having his property redesignated/rezoned to Multi-Family High Density residential. The properties to be considered for the new Multi-Family High Density designation/classification are listed below:

- V-2 (APN 119-021-063, 1.11 acres)
- V-5 (APN 120-015-011, 1.01 acres)
- P-2 (APN 119-021-013, .87 acres)
- P-3 (APN 119-021-054, 1.16 acres)
- P-4 (APN 119-021-055, .95 acres)
- Adjoining Hoyer Property: (APNs 119-021-019, 119-021-020, .60 acres, .94 acres)

Implementation Measure (II.1.2) Transitional and supportive housing provides temporary housing, often with supportive services, to formerly homeless persons for a period that is typically between six months and two years. The supportive services, such as job training, rehabilitation, and counseling, help individuals gain life skills necessary for independent living.

Additionally, pursuant to Senate Bill 2, the City must explicitly allow both supportive and transitional housing types in all residential zones. The City shall update its Zoning Code to include separate definitions of transitional and supportive housing as defined in Health and Safety Code Sections 50675.2 and 50675.14. Both transitional and supportive housing types will be allowed as a permitted use, subject to only the same restrictions on residential uses contained in the same type of structure.

Implementation Measure (II.1.3) Assembly Bill 2634 requires the quantification and analysis of existing and projected housing needs of extremely low-income households and requires Housing Elements to identify zoning to encourage and facilitate supportive housing and single-room occupancy units (SROs). The City shall update its Zoning Code to allow for the development of SROs, a type of residential hotel offering one-room units for long-term occupancy by one or two people; SROs may have a kitchen or bath facilities (but not both) in the room with a conditional use permit in the L-C (Limited Commercial) District and in the area that is currently designated Kirker Corridor. The Kirker Corridor is classified as PD (Planned Development) in the City's Zoning Ordinance. This corridor is close to services and public transportation. The City will create an overlay zone with specific development standards to focus on this approximate five-acre area. The conditions for these units will continue to be minimal and will only require review by the Planning Commission.

Implementation Measure (II.2.1) Most recent housing developments in Clayton have not been constructed to the maximum densities allowed by zoning. Market conditions, bank financing, and insurance requirements have favored the construction of single-family detached houses. Currently, the City's Zoning Code allows for the development of single-family homes in the Multi-Family Residential (M-R) District. To increase housing supply and obtain densities closer to those envisioned by zoning policies, the City will consider amending the Zoning Code to allow single-family homes in the Multi-Family Residential (M-R) District only with a conditional use permit so that these remaining sites can be used to accommodate multiple family housing.

Implementation Measure (IV.1.2) The City shall amend the Zoning Ordinance to remove the maximum number of persons defined as part of a family. The current definition of family limits the number of unrelated individuals to six or fewer persons. Upon amending the definition in the Zoning Ordinance, the City will not restrict the number of unrelated individuals in a family.

Chair Richardson opened the public hearing.

Clayton Valley Presbyterian Church representatives indicated the following:

- The Church's property on Kirker Pass Road was identified in the City's Housing Element Implementation Program as a location for a Zoning Ordinance overlay to accommodate certain affordable housing opportunities, including single room occupancy units. They indicated the Church had plans to expand in the future and that there would not be sufficient land area for existing improvements, their expansion plans, and affordable housing.
- The Kirker Court Apartments, a low-income housing project, is already located on the immediately adjoining property to the northeast. They were concerned about the over-concentration of affordable housing in this vicinity, if additional affordable housing would be brought to this area.
- The proposed housing could result in reduced traffic safety in the area and a need for a traffic light.
- Concerns about the type of affordable housing being considered for this area, given that the Church conducts childcare programs on its premises.
- They asked to be notified of future public hearing on this matter. *Staff and Commissioners indicated that they would be notified of future public hearings related to their property.*

Chair Richardson closed the public hearing.

Chair Richardson inquired are the measures being proposed for consideration mandated by State law and do other communities, likewise, have similar requirements? *Director Woltering affirmed that the clarification was accurate.*

Vice Chair Haydon inquired is manufactured housing considered in the Implementation Program? *Director Woltering indicated that manufactured housing is being considered in the Program.*

Commissioner Armstrong indicated the following:

- As staff comes back with information for consideration at the public hearings on this matter, it be clarified whether the maximum height limit in the Town Center area is 35 feet or 40 feet.
- He and other Commissioners pointed out that the referenced information in the City's General Plan cites 1980 census data. He and the other Commissioners requested that current census data be referenced.

Commissioner Johnson indicated that her understanding is that the measures being considered are to facilitate the construction of affordable housing in Clayton by the private and non-profit sectors, but that the City is not directly required to construct the affordable housing. *Director Woltering agreed with that understanding.*

Commissioner Manning indicated he acknowledged that the measures are State-mandated in order to facilitate the opportunity for the construction of affordable within the community.

The Commissioners concluded that it would be acceptable to move forward the measures being proposed by staff for formal consideration at noticed public hearing, consistent with the intent of the Housing Element Implementation Program.

Communications

6A. Staff – None.

6B. Commission – Commissioner Armstrong provided a brief update on recent CCTA meetings.

Adjournment

7. The meeting was adjourned at 8:10 p.m. to the following regularly-scheduled meeting of December 27, 2011.

Submitted by
David Woltering, AICP
Community Development Director

Approved by
Dan Richardson
Chair

Plng Comm\Minutes\2011\1213

PLANNING COMMISSION STAFF REPORT

Meeting Date: January 24, 2012

From: Milan J. Sikela, Jr. *MS*
Assistant Planner

Subject: Clayton Station (5441 – 5443 Clayton Road)
Site Plan Review Permit (SPR 01-12)

REQUEST

A request for approval of a Site Plan Review Permit to allow proposed exterior modifications to the existing building located at 5441 – 5443 Clayton Road in the Clayton Station shopping center.

PROJECT INFORMATION

Applicant: Banducci Associates Architects Inc.
7011 Koll Center Parkway, Suite 100
Pleasanton, California 94566

Property Owner: Las Trampas Investments
P.O. Box 580
Danville, California 94526

Location: Building Located at 5441 – 5443 Clayton Road
Clayton Station Shopping Center
Clayton, California 94517
APN 119-031-051
(See **Attachment 1, Sheet A0.1** for Location Map)

General Plan Designation: Kirker Corridor Commercial. This proposal complies with the General Plan designation.

Zoning: PD – Planned Development.

Environmental Review: Categorically exempt per Section 15301 of the California Environmental Quality Act (CEQA) Guidelines.

Public Notice: On January 13, 2012, a public hearing notice was posted at the notice boards and mailed to property owners within 300 feet of the site.

Agency Referrals

The City Engineer's and Construction and Demolition Recycling Manager's comments have been incorporated into the advisory notes. The Contra Costa County Building Inspection Department, Contra Costa County Fire Protection District, and Contra Costa Water District did not respond.

Authority

Section 17.44.020 of the Clayton Municipal Code (CMC) authorizes the Planning Commission to approve a Site Plan Review Permit in accordance with the standards of review in CMC Section 17.44.040.

BACKGROUND AND ANALYSIS

The applicant has requested approval of a Site Plan Review Permit to allow various minor exterior modifications and improvements to the existing building and associated adjacent exterior areas at 5441 – 5443 Clayton Road (see **Attachment 1, Sheet A1.2**). The proposed modifications include new architectural treatments on the projecting rear corner component facing the Clayton Road entrance of Clayton Station; new lighting on the projecting corner facing the entryway and on the front elevation; new doors and windows on the front, right, and left elevations; new siding, trim, and paint to match the existing exterior materials and colors; new hardscape work in the immediate outdoor areas located near the front and right elevations; and re-striping in the parking lot located in front of the building. In addition to the new architectural treatments proposed on the projecting rear corner component facing the Clayton Road entrance of Clayton Station, the project involves modifications to allow for new tenant spaces and tenant alterations as well as improvements to exterior walkway, parking lot, and other paved/hardscape areas located adjacent to the subject building.

Staff has concerns that the projecting entryway component on the front elevation will not utilize the open square cutout design theme proposed on the projecting rear corner component. In January 2009, the Planning Commission approved a Site Plan Review Permit (SPR 07-08) for the same applicant, Banducci Associates Architects Inc., to allow for modifications and improvements to the entire Clayton Station shopping center, which included use of the open square cutout design theme on both of the projecting front and rear corner components of the subject building (see **Attachment 2**). In January 2010, the applicant received Planning Commission approval of a one-year extension of SPR 07-08 which subsequently lapsed in January 2011 after no building permit was applied for. In reviewing both the current plans and previously-approved plans, staff notes that greater project integration and visual consistency is provided by using the square cutout design theme on both of the projecting front and rear corner components of the subject building. As a result, staff has provided a condition that the square cutout design theme be used on the projecting entryway component on the front elevation in order to match the design theme proposed for the projecting rear corner component.

RECOMMENDATION

Staff recommends that the Planning Commission approve Site Plan Review Permit SPR 01-12, based upon the following findings and subject to following conditions.

Proposed Findings of Approval

Based upon the evidence set forth in the staff report, which includes relevant information from the project file, as well as testimony at the public hearing, the Planning Commission makes the following findings that Site Plan Review Permit SPR 01-12, as conditioned:

1. Is consistent with the General Plan designation and policies.
2. Meets the standards and requirements of the Zoning Ordinance.
3. Preserves the general safety of the community regarding seismic, landslide, flooding, fire, and traffic hazards.
4. Maintains solar rights of adjacent properties.
5. Reasonably maintains the privacy of adjacent property owners and/or occupants.
6. Reasonably maintains the existing views of adjacent property owners and/or occupants.
7. Is complementary, although not identical, with adjacent existing structures in terms of materials, colors, size, and bulk.
8. Is compatible with the neighborhood and surrounding land uses.

The above-stated findings assume acceptance and approval of the proposed conditions of approval listed below.

Proposed Conditions of Approval

These conditions of approval apply to the Clayton Station Shopping Center Location Map, Site Plan, Demolition Plan, Floor Plan, Exterior Elevations, Schedules, and Details, prepared by Banducci Associates Architects Inc., date stamped January 18, 2012.

1. The square cutout design theme proposed for the projecting rear corner component shall be utilized on the projecting front entryway component.
2. The applicant agrees to indemnify, protect, defend, and hold harmless the City and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes, proceedings, suits, damages, judgments, liens, levies, costs, and expenses of whatever nature, including, but not limited to, attorney's fees, costs, and disbursements arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City relating to this entitlement, and any environmental review conducted under the California Environmental Quality Act for this entitlement and related actions.

Advisory Notes

Advisory notes are provided to inform the applicant of: (a) Clayton Municipal Code requirements; and (b) requirements imposed by other agencies. The advisory notes state requirements that may be in addition to the conditions of approval.

1. The applicant shall comply with all applicable State, County, and City codes, regulations and adopted standards as well as pay all associated fees and charges.
2. Prior to obtaining a building permit, the applicant shall prepare an erosion and stormwater control plan for review and approval by the City Engineer (Clayton Municipal Code Chapter 13.12).
3. Prior to obtaining a building permit, the applicant shall prepare a construction and demolition recycling plan for review and approval by the Construction and Demolition Recycling Manager (Clayton Municipal Code Chapter 15.80).

4. This Site Plan Review Permit shall be used, exercised, or established within twelve months after the granting of the Permit, or a time extension must be obtained from the Planning Commission, otherwise the Permit shall be null and void (Clayton Municipal Code Sections 17.64.010-17.64.030).
5. All construction and other work shall occur only between 7:00 a.m. and 5:00 p.m. Monday through Friday. Any such work beyond these hours and days is strictly prohibited unless specifically authorized in writing by the City Engineer (Clayton Municipal Code Section 15.01.101) located at 5375 Clayton Road, Concord, 925-363-7433.
6. The applicant shall obtain the necessary building permits from the Contra Costa County Building Inspection Department.
7. Additional requirements may be imposed by the Contra Costa County Fire Protection District. Before proceeding with the project, it is advisable to check with the Fire District located at 2010 Geary Road, Pleasant Hill, 925-930-5500.

ATTACHMENTS

- 1 Clayton Station Shopping Center Location Map, Site Plan, Demolition Plan, Floor Plan, Exterior Elevations, Schedules, and Details, prepared by Banducci Associates Architects Inc., date stamped January 18, 2012
- 2 Clayton Station Shopping Center Plans, approved by the Planning Commission on January 13, 2009 (excerpt)

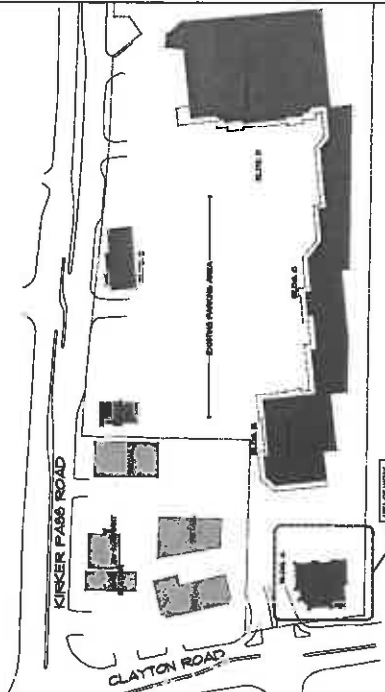
SPR\2012\01-12.sr.pc.1.24.12.clayton.station

EXISTING IMPROVEMENTS FOR

CLAYTON STATION SHOPPING CENTER

5441-5443 CLAYTON ROAD
CLAYTON, CALIFORNIA 94517
BUILDING A

FOR : LAS TRAMPAS PARTNERS



1. SITE PLAN

PLANNING COMMISSION REVIEW



SCOPE OF WORK

PROPOSED WORK ON THE PROJECT INCLUDES:

1. IMPROVEMENTS TO REAR ELEVATION FACING CLAYTON ROAD: NEW PAINT, NEW LIGHT FIXTURES, NEW FINISHES, PAINT, LIGHT FIXTURES, AND FUTURE STORAGE LOCATIONS.
2. IMPROVEMENTS TO REAR SIDE ELEVATION: CODE REQUIRED SECOND FLOOR STAIRWELL, NEW FINISHES, PAINT, LIGHT FIXTURES, AND FUTURE STORAGE LOCATIONS.
3. IMPROVEMENTS TO FRONT ELEVATION: ADDITIONS TO BE STOREFRONT GLAZING AND DOORS FOR NEW LOCATION OF DOUBLE ENTRY DOORS.
4. NEW LOADING AREA: BRANCHING OF EXISTING WAREHOUSE ON LEFT SIDE OF BUILDING. ADDITION OF DOUBLE DOORS TO REAR EXISTING SINGLE DOOR ON THE LEFT SIDE ELEVATION. NEW CURB CUT FOR LOADING AREA. EXISTING WAREHOUSE ADJUTING (B) PARKING LOT AND ADJACENT TO (B) FIRST BRANCHING. NEW STAIRS FOR LOADING AREA.
5. ADJUTING INCLUDE: MODIFICATION OF RE-ACCESSIBLE PARKING LOCATIONS. EXISTING WAREHOUSE ADJUTING (B) PARKING LOT AND ADJACENT TO (B) FIRST BRANCHING. NEW STAIRS FOR LOADING AREA. STORAGE AND DETECTABLE WARNING SURFACE AT NEW CURB RAMP LOCATION.

BUILDING INFORMATION

LOCATION	5441-5443 CLAYTON ROAD CLAYTON, CA 94517
ASSESSOR'S PARCEL NUMBER	118-401-0216
BUILDING COVERAGE	EXISTING - NO MODIFICATIONS
PARKING	EXISTING
OCCUPANCY	1-9
COMMENTS ON THE NUMBER OF STORIES	NO CHANGE TO EXISTING OCCUPANCIES
FIRE PROTECTION	YES, AUTOMATIC FIRE SPRINKLERS
ADOPTED CODES	2010 CALIFORNIA BUILDING CODE 2010 CALIFORNIA ELECTRICAL CODE 2010 CALIFORNIA MECHANICAL CODE 2010 CALIFORNIA FIRE CODE 2010 CALIFORNIA ENERGY EFFICIENCY STANDARDS 2008 CALIFORNIA ENERGY EFFICIENCY STANDARDS AMERICANS WITH DISABILITIES ACT

SHEET INDEX

ARCHITECTURAL

- AD1 COVER SHEET AND SITE PLAN
- AD1.1 EXISTING ELEVATION PLAN / SITE PLAN
- AD1.2 PROPOSED FLOOR PLAN / SITE PLAN
- AD1.3 EXISTING ELEVATION PLAN / SITE PLAN
- AD1.4 DOOR / WINDOW SCHEDULE
- AD1.5 EXISTING ELEVATION PLAN / SITE PLAN
- AD1.6 EXISTING ELEVATION PLAN / SITE PLAN
- AD1.7 EXISTING ELEVATION PLAN / SITE PLAN
- AD1.8 EXISTING ELEVATION PLAN / SITE PLAN
- AD1.9 EXISTING ELEVATION PLAN / SITE PLAN
- AD1.10 EXISTING ELEVATION PLAN / SITE PLAN
- AD1.11 EXISTING ELEVATION PLAN / SITE PLAN
- AD1.12 EXISTING ELEVATION PLAN / SITE PLAN

RECEIVED

JAN 18 2012

CLAYTON COMMUNITY
DEVELOPMENT DEPT

PROJECT CONTACT

ARCHITECT
BANDUCCI ASSOCIATES INC.
1111 CLAYTON ROAD, SUITE 100
CLAYTON, CA 94517
TEL: 925-461-1111
F: 925-461-1112

CITY
CITY OF CLAYTON
CLAYTON CITY ENGINEER
2000 RIVINGTON ROAD
CLAYTON, CA 94517
TEL: 925-461-1111
F: 925-461-1112

OWNER
LAS TRAMPAS PARTNERS
2000 RIVINGTON ROAD
CLAYTON, CA 94517
TEL: 925-461-1111
F: 925-461-1112

CONTRACTOR
BANDUCCI ASSOCIATES INC.
1111 CLAYTON ROAD, SUITE 100
CLAYTON, CA 94517
TEL: 925-461-1111
F: 925-461-1112



BANDUCCI ASSOCIATES
ARCHITECTS INC.

PLANNING COMMISSION REVIEW
CLAYTON STATION SHOPPING CENTER
BUILDING A
JAN 18 2012

PLEASANTON OFFICE
 7011 COLLETT DRIVE, SUITE 100
 PLEASANTON, CALIFORNIA 94566
 925.434.1711 FAX 925.434.1711

SAN JOSE OFFICE
 2145 LUNDY AVENUE, SUITE 210
 SAN JOSE, CALIFORNIA 95131-1815
 408.341.1548
 WWW.BAAARCHITECTS.COM

EXTERIOR IMPROVEMENTS FOR
CLAYTON STATION
SHOPPING CENTER

5441-5443 CLAYTON ROAD
 CLAYTON, CA 94517

REVISIONS
 DRAWING NO. 01.18.12

After being given and having been approved by the building
 officials, the contractor shall be responsible for obtaining all
 necessary permits and for obtaining all necessary approvals
 from the appropriate agencies. The contractor shall be responsible
 for obtaining all necessary approvals from the appropriate
 agencies. The contractor shall be responsible for obtaining
 all necessary approvals from the appropriate agencies.



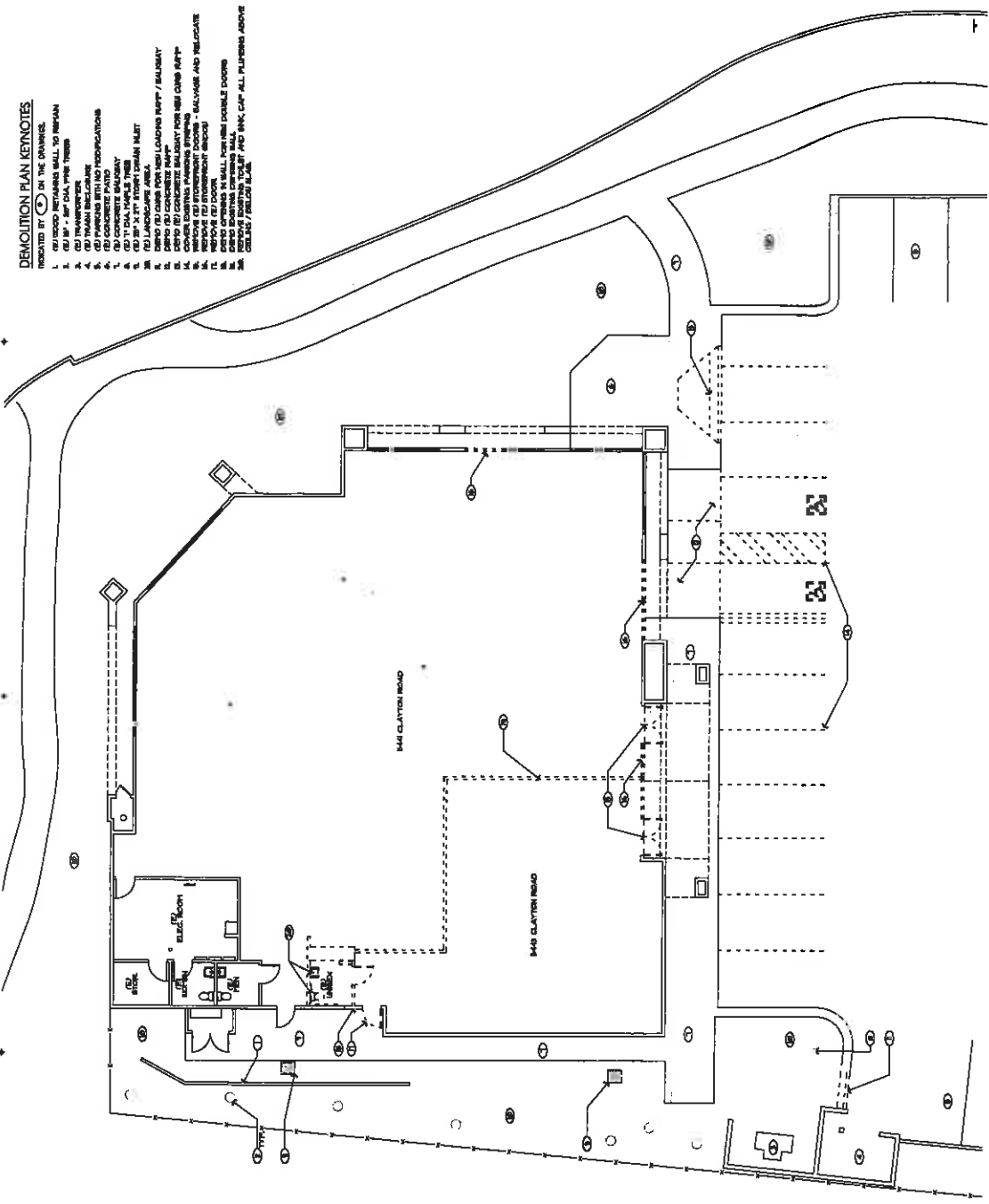
SHEET TITLE

EXISTING DEMOLITION PLAN
/ SITE PLAN

SCALE	AS SHOWN
PROJECT NO.	11.1
DATE	01.18.12
DRAWN BY	MD

SHEET NO. A1.1

- DEMOLITION PLAN KEYNOTES**
 INDICATED BY (K) IN THE DRAWING.
1. EXISTING RETAINING WALL TO REMAIN
 2. EXISTING 12" DIA. PIPE TIE
 3. EXISTING 12" DIA. PIPE TIE
 4. EXISTING 12" DIA. PIPE TIE
 5. EXISTING 12" DIA. PIPE TIE
 6. EXISTING 12" DIA. PIPE TIE
 7. EXISTING 12" DIA. PIPE TIE
 8. EXISTING 12" DIA. PIPE TIE
 9. EXISTING 12" DIA. PIPE TIE
 10. EXISTING 12" DIA. PIPE TIE
 11. EXISTING 12" DIA. PIPE TIE
 12. EXISTING 12" DIA. PIPE TIE
 13. EXISTING 12" DIA. PIPE TIE
 14. EXISTING 12" DIA. PIPE TIE
 15. EXISTING 12" DIA. PIPE TIE
 16. EXISTING 12" DIA. PIPE TIE
 17. EXISTING 12" DIA. PIPE TIE
 18. EXISTING 12" DIA. PIPE TIE
 19. EXISTING 12" DIA. PIPE TIE
 20. EXISTING 12" DIA. PIPE TIE
 21. EXISTING 12" DIA. PIPE TIE
 22. EXISTING 12" DIA. PIPE TIE
 23. EXISTING 12" DIA. PIPE TIE
 24. EXISTING 12" DIA. PIPE TIE
 25. EXISTING 12" DIA. PIPE TIE
 26. EXISTING 12" DIA. PIPE TIE
 27. EXISTING 12" DIA. PIPE TIE
 28. EXISTING 12" DIA. PIPE TIE
 29. EXISTING 12" DIA. PIPE TIE
 30. EXISTING 12" DIA. PIPE TIE
 31. EXISTING 12" DIA. PIPE TIE
 32. EXISTING 12" DIA. PIPE TIE
 33. EXISTING 12" DIA. PIPE TIE
 34. EXISTING 12" DIA. PIPE TIE
 35. EXISTING 12" DIA. PIPE TIE
 36. EXISTING 12" DIA. PIPE TIE
 37. EXISTING 12" DIA. PIPE TIE
 38. EXISTING 12" DIA. PIPE TIE
 39. EXISTING 12" DIA. PIPE TIE
 40. EXISTING 12" DIA. PIPE TIE
 41. EXISTING 12" DIA. PIPE TIE
 42. EXISTING 12" DIA. PIPE TIE
 43. EXISTING 12" DIA. PIPE TIE
 44. EXISTING 12" DIA. PIPE TIE
 45. EXISTING 12" DIA. PIPE TIE
 46. EXISTING 12" DIA. PIPE TIE
 47. EXISTING 12" DIA. PIPE TIE
 48. EXISTING 12" DIA. PIPE TIE
 49. EXISTING 12" DIA. PIPE TIE
 50. EXISTING 12" DIA. PIPE TIE
 51. EXISTING 12" DIA. PIPE TIE
 52. EXISTING 12" DIA. PIPE TIE
 53. EXISTING 12" DIA. PIPE TIE
 54. EXISTING 12" DIA. PIPE TIE
 55. EXISTING 12" DIA. PIPE TIE
 56. EXISTING 12" DIA. PIPE TIE
 57. EXISTING 12" DIA. PIPE TIE
 58. EXISTING 12" DIA. PIPE TIE
 59. EXISTING 12" DIA. PIPE TIE
 60. EXISTING 12" DIA. PIPE TIE
 61. EXISTING 12" DIA. PIPE TIE
 62. EXISTING 12" DIA. PIPE TIE
 63. EXISTING 12" DIA. PIPE TIE
 64. EXISTING 12" DIA. PIPE TIE
 65. EXISTING 12" DIA. PIPE TIE
 66. EXISTING 12" DIA. PIPE TIE
 67. EXISTING 12" DIA. PIPE TIE
 68. EXISTING 12" DIA. PIPE TIE
 69. EXISTING 12" DIA. PIPE TIE
 70. EXISTING 12" DIA. PIPE TIE
 71. EXISTING 12" DIA. PIPE TIE
 72. EXISTING 12" DIA. PIPE TIE
 73. EXISTING 12" DIA. PIPE TIE
 74. EXISTING 12" DIA. PIPE TIE
 75. EXISTING 12" DIA. PIPE TIE
 76. EXISTING 12" DIA. PIPE TIE
 77. EXISTING 12" DIA. PIPE TIE
 78. EXISTING 12" DIA. PIPE TIE
 79. EXISTING 12" DIA. PIPE TIE
 80. EXISTING 12" DIA. PIPE TIE
 81. EXISTING 12" DIA. PIPE TIE
 82. EXISTING 12" DIA. PIPE TIE
 83. EXISTING 12" DIA. PIPE TIE
 84. EXISTING 12" DIA. PIPE TIE
 85. EXISTING 12" DIA. PIPE TIE
 86. EXISTING 12" DIA. PIPE TIE
 87. EXISTING 12" DIA. PIPE TIE
 88. EXISTING 12" DIA. PIPE TIE
 89. EXISTING 12" DIA. PIPE TIE
 90. EXISTING 12" DIA. PIPE TIE
 91. EXISTING 12" DIA. PIPE TIE
 92. EXISTING 12" DIA. PIPE TIE
 93. EXISTING 12" DIA. PIPE TIE
 94. EXISTING 12" DIA. PIPE TIE
 95. EXISTING 12" DIA. PIPE TIE
 96. EXISTING 12" DIA. PIPE TIE
 97. EXISTING 12" DIA. PIPE TIE
 98. EXISTING 12" DIA. PIPE TIE
 99. EXISTING 12" DIA. PIPE TIE
 100. EXISTING 12" DIA. PIPE TIE



1. EXISTING DEMOLITION PLAN / SITE PLAN

PLEASANTON OFFICE
 7011 ECOL CENTER DRIVE, SUITE 100
 PLEASANTON, CALIFORNIA 94566
 925.414.4741 / 925.414.4741

SAN JOSE OFFICE
 2160 UNION AVENUE, SUITE 240
 SAN JOSE, CALIFORNIA 95131-1351
 408.544.9169

WWW.RANDUCCIARCHITECTS.COM

EXTERIOR IMPROVEMENTS FOR:
CLAYTON STATION
SUPPLINE CENTER

5411-5443 CLAYTON ROAD
 CLAYTON, CA 94517

REVISIONS
 PLANNING REVIEW 01.18.12

After the City of Clayton has approved the preliminary site plan, the applicant shall submit a final site plan to the City of Clayton for review and approval. The final site plan shall include all improvements shown on the preliminary site plan, as well as any other improvements required by the City of Clayton. The final site plan shall also include a detailed description of the improvements, including a list of materials and quantities, and a detailed description of the construction methods to be used.



David E. Randall, Civil Engineer

SHEET TITLE

PROPOSED FLOOR PLAN / SITE PLAN

SCALE	AS NOTED
PROJECT NO.	11.11
DATE	01.18.12
DRAWN BY	LD

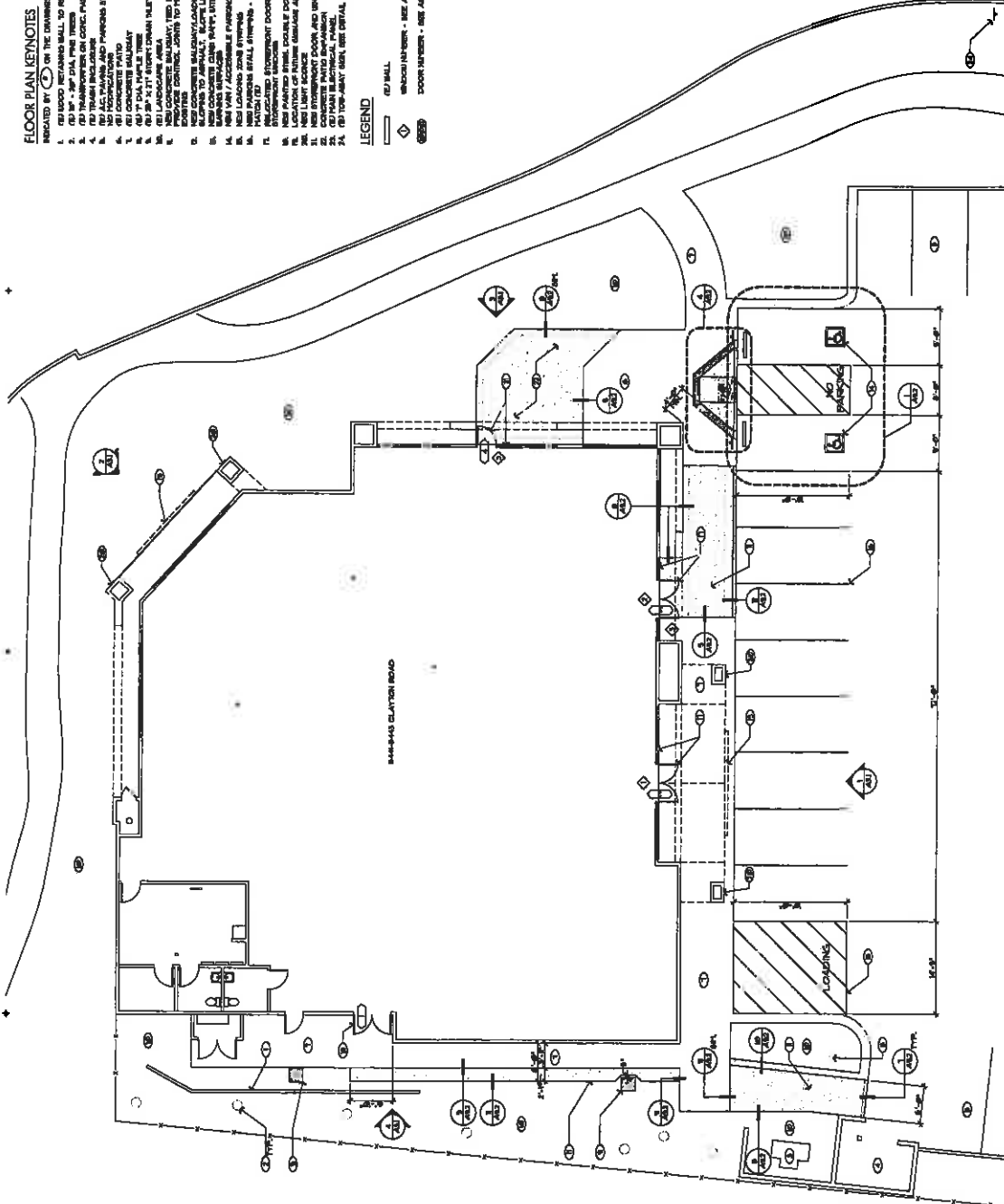
SHEET NO. A12

FLOOR PLAN KEYNOTES

1. REDWOOD RETAINING WALL TO REMAIN
2. RED 3" x 6" x 8" DIA. PINE TREES
3. RED 4" x 4" x 6" DIA. PINE TREES
4. RED 2" x 4" x 6" DIA. PINE TREES
5. RED 1" x 4" x 6" DIA. PINE TREES
6. RED 1" x 4" x 6" DIA. PINE TREES
7. RED 1" x 4" x 6" DIA. PINE TREES
8. RED 1" x 4" x 6" DIA. PINE TREES
9. RED 1" x 4" x 6" DIA. PINE TREES
10. RED 1" x 4" x 6" DIA. PINE TREES
11. RED 1" x 4" x 6" DIA. PINE TREES
12. RED 1" x 4" x 6" DIA. PINE TREES
13. RED 1" x 4" x 6" DIA. PINE TREES
14. RED 1" x 4" x 6" DIA. PINE TREES
15. RED 1" x 4" x 6" DIA. PINE TREES
16. RED 1" x 4" x 6" DIA. PINE TREES
17. RED 1" x 4" x 6" DIA. PINE TREES
18. RED 1" x 4" x 6" DIA. PINE TREES
19. RED 1" x 4" x 6" DIA. PINE TREES
20. RED 1" x 4" x 6" DIA. PINE TREES
21. RED 1" x 4" x 6" DIA. PINE TREES
22. RED 1" x 4" x 6" DIA. PINE TREES
23. RED 1" x 4" x 6" DIA. PINE TREES
24. RED 1" x 4" x 6" DIA. PINE TREES

LEGEND

- 1. REDWOOD RETAINING WALL TO REMAIN
- 2. RED 3" x 6" x 8" DIA. PINE TREES
- 3. RED 4" x 4" x 6" DIA. PINE TREES
- 4. RED 2" x 4" x 6" DIA. PINE TREES
- 5. RED 1" x 4" x 6" DIA. PINE TREES
- 6. RED 1" x 4" x 6" DIA. PINE TREES
- 7. RED 1" x 4" x 6" DIA. PINE TREES
- 8. RED 1" x 4" x 6" DIA. PINE TREES
- 9. RED 1" x 4" x 6" DIA. PINE TREES
- 10. RED 1" x 4" x 6" DIA. PINE TREES
- 11. RED 1" x 4" x 6" DIA. PINE TREES
- 12. RED 1" x 4" x 6" DIA. PINE TREES
- 13. RED 1" x 4" x 6" DIA. PINE TREES
- 14. RED 1" x 4" x 6" DIA. PINE TREES
- 15. RED 1" x 4" x 6" DIA. PINE TREES
- 16. RED 1" x 4" x 6" DIA. PINE TREES
- 17. RED 1" x 4" x 6" DIA. PINE TREES
- 18. RED 1" x 4" x 6" DIA. PINE TREES
- 19. RED 1" x 4" x 6" DIA. PINE TREES
- 20. RED 1" x 4" x 6" DIA. PINE TREES
- 21. RED 1" x 4" x 6" DIA. PINE TREES
- 22. RED 1" x 4" x 6" DIA. PINE TREES
- 23. RED 1" x 4" x 6" DIA. PINE TREES
- 24. RED 1" x 4" x 6" DIA. PINE TREES



1. PROPOSED FLOOR PLAN / SITE PLAN

EXTERIOR ELEVATION KEYNOTES

INDICATED BY  ON THE DRAWING.

- 1. PROPOSED ORNAMENT WITH PAINTED METAL LIGHT BULB
- 1. PROPOSED LOCATION FOR FUTURE SIGNAGE
- 1. NEW LIGHT SCENEZ
- 1. NEW STORMCRAFT DOORS AND GLAZING
- 1. NEW SIGN, TEXT AND PAINT TO MATCH EXISTING
- 1. NEW PAINTED STEEL DOUBLE DOORS WITH TRIM AND PAINT TO MATCH EXISTING

PLEASANTON OFFICE
3001 KOLL CENTER PKWY, SUITE 100
PLEASANTON CALIFORNIA 94566
1225-426-4761 FAX 1225-426-4721

SAN JOSE OFFICE
2160 LUNDY AVENUE, SUITE 240
SAN JOSE CALIFORNIA 95121-1091
408 434 8548

www.BArchitects.com
EXTERIOR IMPROVEMENTS FOR:
**CLAYTON STATION
SHOPPING CENTER**

5441-5443 CLAYTON ROAD
CLAYTON, CA 94517

Revisions

PLANNING REVIEW
01.18.12

© 2001 by AMERICAN ASSOCIATION OF NUTRITIONISTS



Copyright © 2004 Blackwell Publishing Ltd

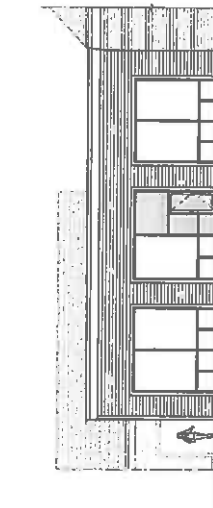
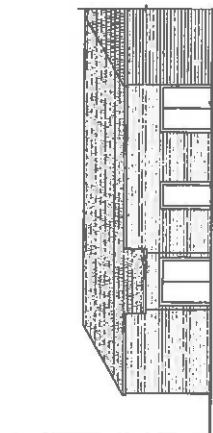
SHEET TITLE

EXTENSION ELEVATIONS AND EXISTING PHOTOS

SCALE	AS NOTED
PROJECT NO.	11.37
DATE	01.18.37
DRAWN BY	MD

SHEET 00

122

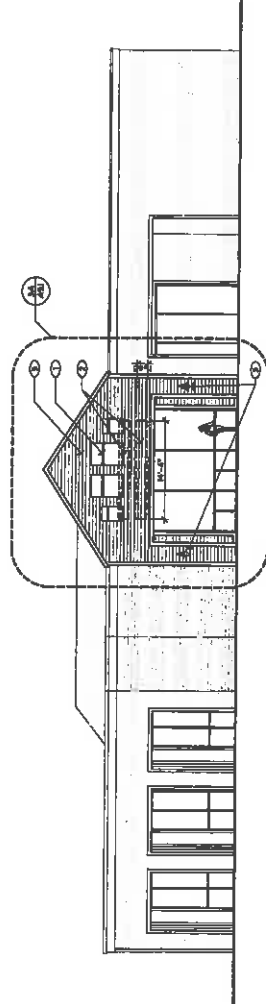


EXISTING LEFT CASES

5. PROPOSED LEFT SHOULDER ELEVATION

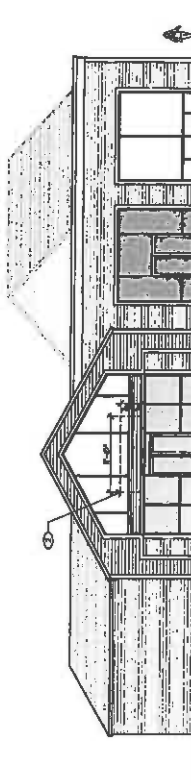
EXISTING RIGHT SIDE VIEW

MAILING LIST: 2003 LIST 43514012



NEW! THE SMALLSIES™

2. PROPOSED NEW ELECTION



8. EXISTING FRONT VIEW

4) **WAGES: THE EFFECTS OF**

PLEASANTON OFFICE
 7011 EOL CENTER TERY, 101119
 PLEASANTON, CALIFORNIA 94566
 925.426.4761 FAX: 925.426.4721

SAN JOSE OFFICE
 2149 JORDI AVENUE, 1011240
 SAN JOSE, CALIFORNIA 95128-1211
 408.544.1444

WWW.BANDUCCIARCHITECTS.COM

EXTERIOR IMPROVEMENTS FOR:
CLAYTON STATION SHOPPING CENTER

5441-5443 CLAYTON ROAD
 CLAYTON, CA 94517

REVISIONS
 PLANNING MEETING 01.18.12

Architects shall provide all materials and labor for the work shown on these drawings. The materials and labor shall be of the highest quality and shall be installed in accordance with the manufacturer's instructions. The work shall be completed within the specified time frame. The architect shall be responsible for obtaining all necessary permits and for coordinating the work with the other trades. The architect shall also be responsible for providing a detailed schedule of work and for updating the schedule as the project progresses.



David E. Banducci, AIA, Architect

SHEET TITLE

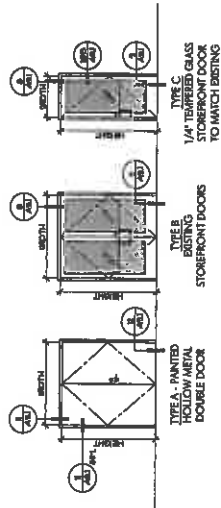
DOOR / WINDOWS SCHEDULES

SCALE	AS SHOWN
PROJECT NO.	111
DATE	01.12
DRAWN BY	AD

DOOR SCHEDULE

NUMBER	SIZE	TYPE	THICKNESS	FINISH	GLASS	FRAME	MATERIAL	FINISH	REMARKS
1	6'-0" X 7'-0"	A	1-3/4"	-	1	ALUMINUM	ALUMINUM	ALUMINUM	DOOR / FRAME 1
2	6'-0" X 7'-0"	B	1-3/4"	-	2	ALUMINUM	ALUMINUM	ALUMINUM	DOOR / FRAME 2
3	6'-0" X 7'-0"	C	1-3/4"	-	3	ALUMINUM	ALUMINUM	ALUMINUM	DOOR / FRAME 3
4	6'-0" X 7'-0"	D	1-3/4"	-	4	ALUMINUM	ALUMINUM	ALUMINUM	DOOR / FRAME 4

DOOR TYPES



WINDOW SCHEDULE

NUMBER	TYPE	GLASS	THICKNESS	FINISH	OPERATION	REMARKS
1	A	TEMPERED	1/2"	ALUM.	POW.	1/2" TEMPERED GLASS STOREFRONT DOOR TO MATCH EXISTING
2	B	TEMPERED	1/2"	ALUM.	POW.	1/2" TEMPERED GLASS STOREFRONT DOOR TO MATCH EXISTING
3	C	TEMPERED	1/2"	ALUM.	POW.	1/2" TEMPERED GLASS STOREFRONT DOOR TO MATCH EXISTING

DOOR REMARKS

1. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
2. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
3. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
4. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.

DOOR GENERAL NOTES

1. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
2. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
3. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
4. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOORS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.

DOOR HARDWARE GENERAL NOTES

1. ALL DOOR HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
2. ALL DOOR HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
3. ALL DOOR HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
4. ALL DOOR HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.

DOOR HARDWARE GROUPS

1. ALL DOOR HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
2. ALL DOOR HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
3. ALL DOOR HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
4. ALL DOOR HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE DOOR HARDWARE SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.

WINDOW SCHEDULE

1. ALL WINDOW SCHEDULES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW SCHEDULES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW SCHEDULES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
2. ALL WINDOW SCHEDULES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW SCHEDULES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW SCHEDULES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
3. ALL WINDOW SCHEDULES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW SCHEDULES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW SCHEDULES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
4. ALL WINDOW SCHEDULES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW SCHEDULES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW SCHEDULES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.

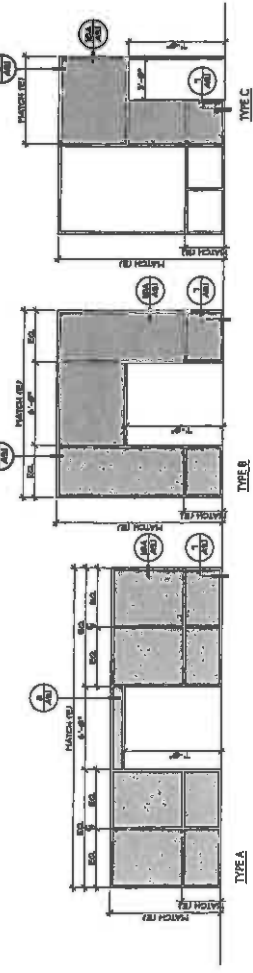
WINDOW GENERAL NOTES

1. ALL WINDOW GENERAL NOTES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW GENERAL NOTES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW GENERAL NOTES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
2. ALL WINDOW GENERAL NOTES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW GENERAL NOTES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW GENERAL NOTES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
3. ALL WINDOW GENERAL NOTES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW GENERAL NOTES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW GENERAL NOTES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
4. ALL WINDOW GENERAL NOTES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW GENERAL NOTES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW GENERAL NOTES SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.

WINDOW REMARKS

1. ALL WINDOW REMARKS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW REMARKS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW REMARKS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
2. ALL WINDOW REMARKS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW REMARKS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW REMARKS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
3. ALL WINDOW REMARKS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW REMARKS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW REMARKS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.
4. ALL WINDOW REMARKS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE WINDOW REMARKS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION. THE WINDOW REMARKS SHALL BE INSTALLED IN A MANNER THAT PROVIDES PROPER DRAINAGE AND VENTILATION.

WINDOW TYPES



TELESALE OFFICE
 7011 BOLL CENTER HWY, SUITE 100
 PLACENTIA, CALIFORNIA 94666
 TEL: 714.771.1111 FAX: 714.771.1111

SAN JOSE OFFICE
 1110 JUNDY AVENUE, SUITE 210
 SAN JOSE, CALIFORNIA 95128
 TEL: 415.435.1111 FAX: 415.435.1111

WWW.BANDUCCIARCHITECTS.COM

CLAYTON STATION
SHOPPING CENTER

5441-5443 CLAYTON ROAD
 CLAYTON, CA 94517

REVISIONS
 01.18.12

REVISIONS
 01.18.12



David L. Banducci, P.E., Architect

SHEET TITLE
WALL SECTION,
PARTIAL ELEVATION
& DETAILS

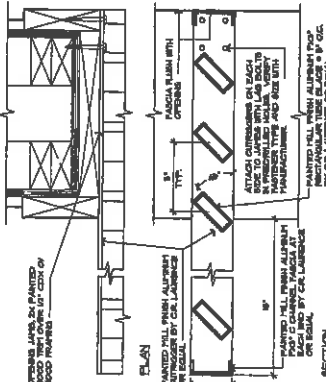
SCALE	1/8" = 1'-0"
PROJECT NO.	1111
DATE	01.11.12
DRAWN BY	JD



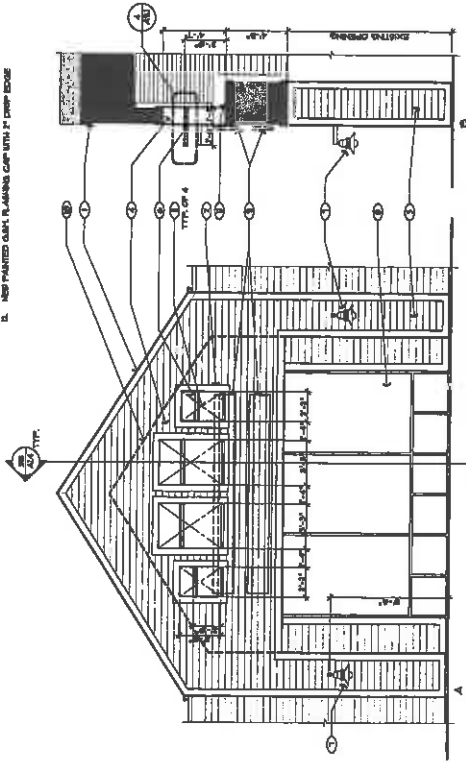
1. NEW EXTENSION SCENE

WALL SECTION / ELEVATION KEYNOTES

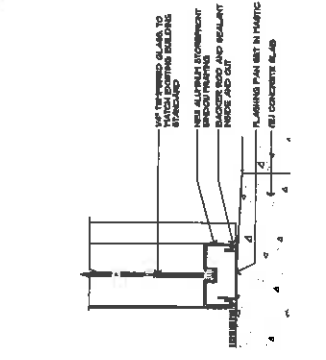
1. REPAIR TO EXISTING
2. REPAIR TO EXISTING
3. REPAIR TO EXISTING
4. REPAIR TO EXISTING
5. REPAIR TO EXISTING
6. REPAIR TO EXISTING
7. REPAIR TO EXISTING
8. REPAIR TO EXISTING
9. REPAIR TO EXISTING
10. REPAIR TO EXISTING
11. REPAIR TO EXISTING
12. REPAIR TO EXISTING
13. REPAIR TO EXISTING
14. REPAIR TO EXISTING
15. REPAIR TO EXISTING
16. REPAIR TO EXISTING
17. REPAIR TO EXISTING
18. REPAIR TO EXISTING
19. REPAIR TO EXISTING
20. REPAIR TO EXISTING
21. REPAIR TO EXISTING
22. REPAIR TO EXISTING
23. REPAIR TO EXISTING
24. REPAIR TO EXISTING
25. REPAIR TO EXISTING
26. REPAIR TO EXISTING
27. REPAIR TO EXISTING
28. REPAIR TO EXISTING
29. REPAIR TO EXISTING
30. REPAIR TO EXISTING
31. REPAIR TO EXISTING
32. REPAIR TO EXISTING
33. REPAIR TO EXISTING
34. REPAIR TO EXISTING
35. REPAIR TO EXISTING
36. REPAIR TO EXISTING
37. REPAIR TO EXISTING
38. REPAIR TO EXISTING
39. REPAIR TO EXISTING
40. REPAIR TO EXISTING
41. REPAIR TO EXISTING
42. REPAIR TO EXISTING
43. REPAIR TO EXISTING
44. REPAIR TO EXISTING
45. REPAIR TO EXISTING
46. REPAIR TO EXISTING
47. REPAIR TO EXISTING
48. REPAIR TO EXISTING
49. REPAIR TO EXISTING
50. REPAIR TO EXISTING
51. REPAIR TO EXISTING
52. REPAIR TO EXISTING
53. REPAIR TO EXISTING
54. REPAIR TO EXISTING
55. REPAIR TO EXISTING
56. REPAIR TO EXISTING
57. REPAIR TO EXISTING
58. REPAIR TO EXISTING
59. REPAIR TO EXISTING
60. REPAIR TO EXISTING
61. REPAIR TO EXISTING
62. REPAIR TO EXISTING
63. REPAIR TO EXISTING
64. REPAIR TO EXISTING
65. REPAIR TO EXISTING
66. REPAIR TO EXISTING
67. REPAIR TO EXISTING
68. REPAIR TO EXISTING
69. REPAIR TO EXISTING
70. REPAIR TO EXISTING
71. REPAIR TO EXISTING
72. REPAIR TO EXISTING
73. REPAIR TO EXISTING
74. REPAIR TO EXISTING
75. REPAIR TO EXISTING
76. REPAIR TO EXISTING
77. REPAIR TO EXISTING
78. REPAIR TO EXISTING
79. REPAIR TO EXISTING
80. REPAIR TO EXISTING
81. REPAIR TO EXISTING
82. REPAIR TO EXISTING
83. REPAIR TO EXISTING
84. REPAIR TO EXISTING
85. REPAIR TO EXISTING
86. REPAIR TO EXISTING
87. REPAIR TO EXISTING
88. REPAIR TO EXISTING
89. REPAIR TO EXISTING
90. REPAIR TO EXISTING
91. REPAIR TO EXISTING
92. REPAIR TO EXISTING
93. REPAIR TO EXISTING
94. REPAIR TO EXISTING
95. REPAIR TO EXISTING
96. REPAIR TO EXISTING
97. REPAIR TO EXISTING
98. REPAIR TO EXISTING
99. REPAIR TO EXISTING
100. REPAIR TO EXISTING



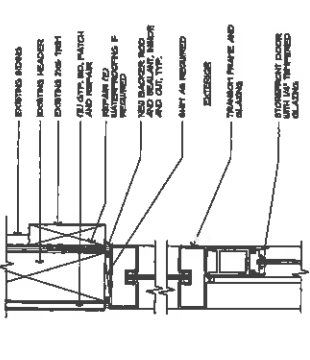
4. ALUMINUM SILL SCENE



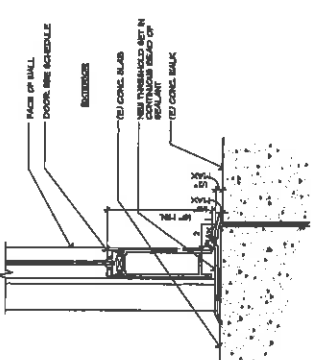
3. WALL SECTION / PARTIAL ELEVATION



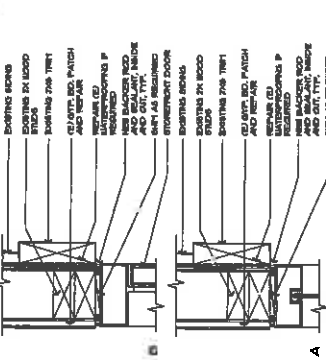
7. STOREFRONT WINDOW SILL



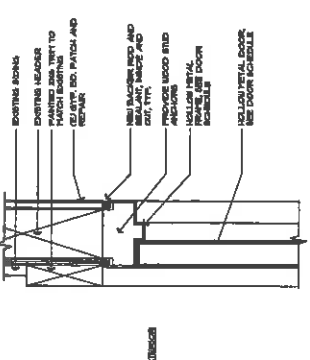
8. NEW STOREFRONT DOOR / TRANSOM HEAD



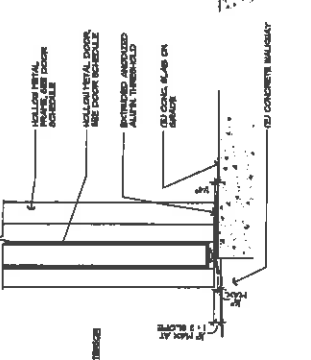
9. NEW STOREFRONT DOOR SILL



10. STOREFRONT WINDOW / DOOR HEAD



11. NEW EXTENSION DOOR HEAD



12. NEW EXTENSION DOOR TRANSOM HEAD

3. WALL SECTION / PARTIAL ELEVATION

9. NEW STOREFRONT DOOR SILL

12. NEW EXTENSION DOOR TRANSOM HEAD

PLEASANTON OFFICE
 7011 TOLL CENTER DRIVE, SUITE 100
 PLEASANTON, CALIFORNIA 94588
 925.421.4721 FAX 925.421.4721

SAN JOSE OFFICE
 2100 LUNDY AVENUE, SUITE 200
 SAN JOSE, CALIFORNIA 95131-1401
 408.344.1554
 WWW.BANDUCCIARCHITECTS.COM

EXTERIOR ARCHITECTS FOR
CLAYTON STATION
SHOPPING CENTER

5441-5443 CLAYTON ROAD
 CLAYTON, CA 94517

REVISIONS
 DRAWING NUMBER 01-18-12

At each building, all materials shall be approved by the building department and the project architect. All materials shall be approved by the building department and the project architect. All materials shall be approved by the building department and the project architect.

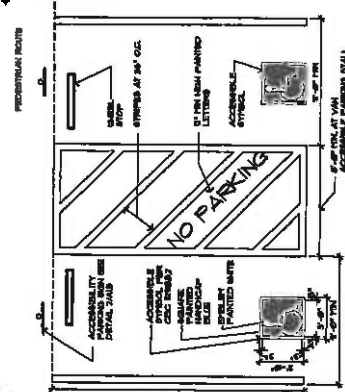


David E. Banducci, No. 44848

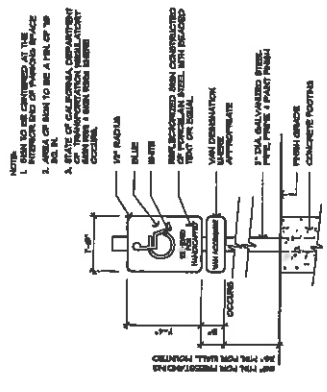
SHEET TITLE
DETAILS

SCALE	AS SHOWN
PROJECT NO.	1111
DATE	8/13/12
DRAWN BY	

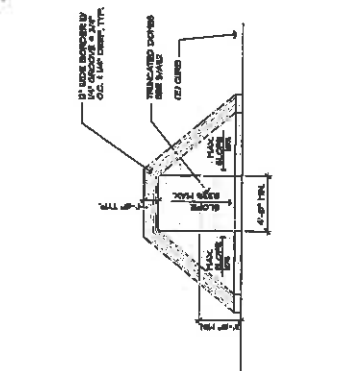
SHEET NO.
A9.2



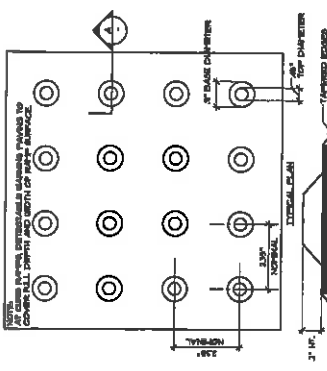
1. E.G. PARKING SIGN



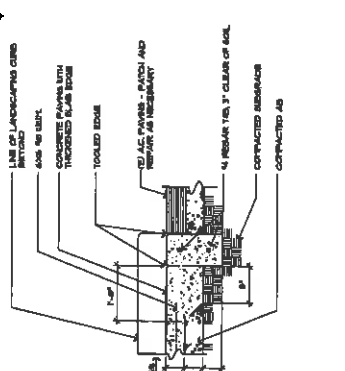
2. E.G. PARKING SIGN



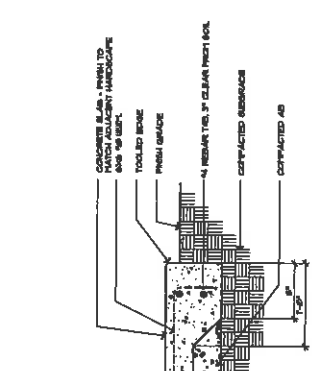
3. NEW CONC. WALKWAY



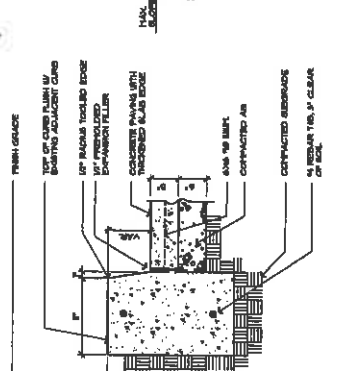
4. NEW CONC. WALKWAY



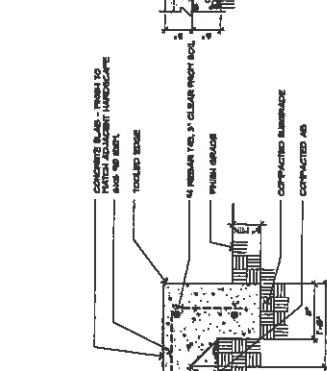
5. LEADING CONCRETE WALKWAY TO D.E. J.C. SHOWING



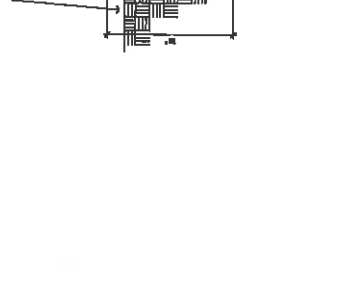
6. LEADING CONCRETE WALKWAY TO D.E. J.C. SHOWING



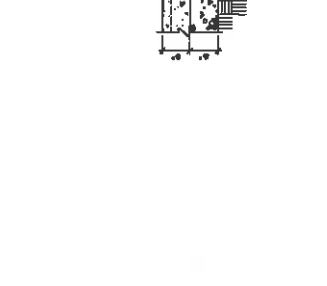
7. LEADING CONCRETE WALKWAY TO D.E. J.C. SHOWING



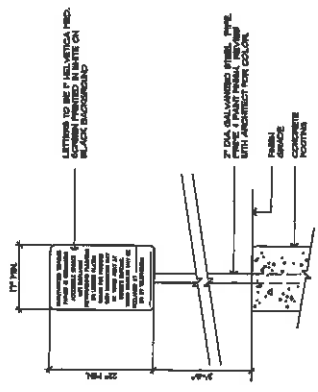
8. LEADING CONCRETE WALKWAY TO D.E. J.C. SHOWING



9. NEW CONC. WALKWAY / CONC. AT D.E. J.C. PARKING



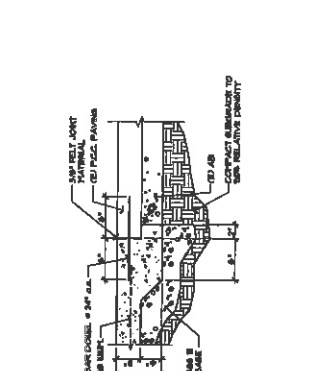
10. NEW CONC. WALKWAY / CONC. AT D.E. J.C. PARKING



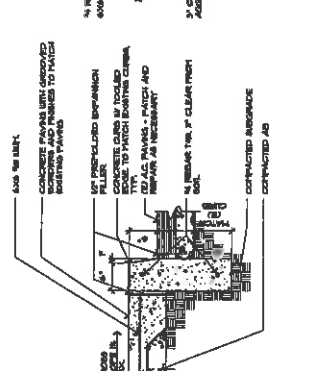
11. CONCRETE WALKWAY PERIMETER



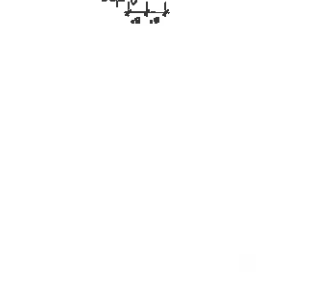
12. CONCRETE WALKWAY PERIMETER



13. CONCRETE WALKWAY PERIMETER



14. CONCRETE WALKWAY PERIMETER



15. CONCRETE WALKWAY PERIMETER

