



AGENDA
PLANNING COMMISSION
Regular Meeting

7:00 P.M. on Tuesday, September 24, 2013

Hoyer Hall, Clayton Community Library, 6125 Clayton Road, Clayton, CA

- 1. CALL TO ORDER, ROLL CALL, PLEDGE TO THE FLAG**
- 2. ADMINISTRATIVE**
 - 2.a. Review of agenda items.
 - 2.b. Declaration of Conflict of Interest.
 - 2.c. Planning Commissioner Keith Haydon to report at the City Council meeting of October 1, 2013 (alternate: Vice Chair Dan Richardson).
- 3. PUBLIC COMMENT**
- 4. MINUTES**
 - 4.a. Approval of the minutes for the September 10, 2013 regular meeting.
- 5. PUBLIC HEARINGS**
 - 5.a. **SPR-05-13, Site Plan Review Permit, Steve and Sue Brye, 19 Atchinson Stage Road, APN: 120-031-003.** Public Hearing to consider a Site Plan Review Permit request to construct a single-story addition on an existing single-story single-family residence. The addition is proposed to be approximately 515 square feet in area and 16 feet, 6 inches in height.

Staff Recommendation: Approve subject to Conditions and find the proposal is exempt under CEQA.
 - 5.b. **SPR-06-13, Site Plan Review Permit, Jason and Stephanie Craig, 369 Mt. Washington Way, APN: 119-221-006.** Public Hearing to consider a Site Plan Review Permit request to construct a second-story addition on an existing two-story single-family residence. The addition is proposed to be approximately 1,027 square feet in area and 23 feet in height.

Staff Recommendation: Approve subject to Conditions and find the proposal is exempt under CEQA.

6. OLD BUSINESS

None.

7. NEW BUSINESS

- 7.a. **Skipolini's Pizza Restaurant Remodel/Expansion and Bocce Ball Court Proposal.** Informational presentation by Robert Staehle, VIZ f/x on the Skipolini's Pizza Restaurant Remodel/Expansion and Bocce Ball Court a proposal; 1035 Diablo Street.

8. COMMUNICATIONS

8.a. Staff.

- **Planning Commission Meeting Procedures and Protocol.** Consideration of Minor amendments; CDD-04-13.

8.b. Commission.

9. ADJOURNMENT

- 9.a. The next regularly-scheduled meeting of the Planning Commission will be held on **Tuesday, October 8, 2013 at 7:00 p.m.**

Most Planning Commission decisions are appealable to the City Council within ten (10) calendar days of the decision. Please contact Community Development Department staff for further information immediately following the decision. If the decision is appealed, the City Council will hold a public hearing and make a final decision. If you challenge a final decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing(s), either in oral testimony at the hearing(s) or in written correspondence delivered to the Community Development Department at or prior to the public hearing(s). Further, any court challenge must be made within 90 days of the final decision on the noticed matter. If you have a physical impairment that requires special accommodations to participate, please contact the Community Development Department at least 72 hours in advance of the meeting at 925-673-7340. An affirmative vote of the Planning Commission is required for approval. A tie vote (e.g., 2-2) is considered a denial. Therefore, applicants may wish to request a continuance to a later Commission meeting if only four Planning Commissioners are present.

Any writing or documents provided to the majority of the Planning Commission after distribution of the agenda packet regarding any item on this agenda will be made available for public inspection in the Community Development Department located at 6000 Heritage Trail during normal business hours.

Minutes
Clayton Planning Commission Meeting
Tuesday, September 10, 2013

1. CALL TO ORDER, ROLL CALL, PLEDGE TO THE FLAG

Chair Manning called the meeting to order at 7:00 p.m. at the First Floor Conference Room, City Hall, 6000 Heritage Trail, Clayton.

Present: Chair Gregg Manning
Vice Chair Dan Richardson
Commissioner David Bruzzone
Commissioner Keith Haydon
Commissioner Sandra Johnson

Absent: None.

Staff: Community Development Director Charlie Mullen

2. ADMINISTRATIVE

2.a. Review of agenda items. No Changes.

2.b. Declaration of Conflict of Interest. None.

2.c. Planning Commissioner Sandra Johnson to report at the City Council meeting of September 17, 2013 (alternate: Commissioner Keith Haydon).

3. PUBLIC COMMENT

None.

4. MINUTES

4.a. Approval of the minutes for the August 27, 2013 regular meeting.

Commissioner Haydon moved and Commissioner Bruzzone seconded a motion to approve the minutes, as submitted. The motion passed 4-0-1 (Vice Chair Richardson abstained).

5. PUBLIC HEARINGS

5.a. **SPR-05-13, Site Plan Review Permit, Steve and Sue Brye, 19 Atchinson Stage Road, APN: 120-031-003.** Public Hearing to consider a Site Plan Review Permit request to construct a single-story addition on an existing single-story single-family residence. The addition is proposed to be approximately 515 square feet in area and 16 feet, 6 inches in height.

Community Development Director Mullen informed the Commission that an inadvertent error in the Public Hearing notification to surrounding properties had occurred and stated the matter would need to be continued and rescheduled to the September 24, 2013 Planning Commission meeting to allow for re-noticing.

By consensus, the Planning Commission agreed to the continuance and rescheduling of the item.

- 5.b. **(Continued Item) ZOA-03-13, Municipal Code Amendment, City of Clayton.** Public Hearing to consider a City-initiated Ordinance to Amend Portions of Title 17 of the Clayton Municipal Code, Establishing Regulations for Cottage Food Operations.

Community Development Director Mullen presented the staff report.

Commissioner Haydon requested a clarification on the definition reference to the Health and Safety Code. Director Mullen responded.

Commissioner Bruzzone requested a clarification on Section 7 of the Draft Ordinance. Director Mullen responded.

The public hearing was opened. There were no public comments. The public hearing was closed.

Commissioner Haydon moved and Commissioner Johnson seconded a motion to adopt Resolution No. 05-13 recommending City Council approval of an Ordinance amending portions of Title 17 of the Clayton Municipal Code, establishing a definition and regulations for the review and approval process for proposed cottage food operations as home-based businesses within the City of Clayton. The motion passed 5-0.

6. OLD BUSINESS

None.

7. NEW BUSINESS

None.

8. COMMUNICATIONS

8.a. Staff.

- Director Mullen handed out the Planning Commission Procedures and Protocol, adopted March 9, 2010 as an annual refresher. Director Mullen pointed out the reference under Item No. 6, that “a second is not an absolute requirement for a vote on a matter” was in conflict with Robert’s Rules of Order. Director Mullen handed out two different summaries on motions per Robert’s Rules of Order. Some Commission discussion ensued followed by consensus that the Director should bring back revisions for the Commission to consider.
- Director Mullen handed out the Planning Commission Conflict of Interest Maps as an annual refresher. Some Commission discussion ensued with a response from the Director.
- Director Mullen provided updates on Silver Oak Estates, Skipolini’s Bocce Ball Courts, Oak Creek Canyon Subdivision and anticipated items on the September 24, 2013 Planning Commission agenda.

8.b. Commission.

None.

9. ADJOURNMENT

9.a. The meeting was adjourned at 7:58 p.m. to the next regularly-scheduled meeting of the Planning Commission on Tuesday, September 24, 2013 at 7:00 p.m.

Submitted by
Charlie Mullen
Community Development Director

Approved by
Gregg Manning
Chair

Com Dev\Plng Comm\Minutes 2013\0910

PLANNING COMMISSION STAFF REPORT

Meeting Date: September 24, 2013

Item Number: 5.a

From: Milan J. Sikela, Jr. 
Assistant Planner

Subject: Public Hearing to consider a Site Plan Review Permit request to construct a 515 square-foot single-story addition on an existing single-story single-family residence (SPR-05-13)

Applicant: Steve and Sue Brye

REQUEST

Public Hearing to consider a Site Plan Review Permit request to construct a single-story addition on an existing single-story single-family residence. The addition is proposed to be approximately 515 square feet in area and 16 feet, 6 inches feet in height.

PROJECT INFORMATION

Location: 19 Atchinson Stage Road
APN: 120-031-003

General Plan Designation: Low Density – Single Family Residential (1.1 to 3.0 units per acre).

Zoning: Single Family Residential R-12 District (12,600 square-foot minimum lot area).

Environmental Review: Categorically exempt per Section 15303(a), Class 3 of the California Environmental Quality Act (CEQA) Guidelines.

Public Notice: On September 13, 2013, a public hearing notice was posted at the notice boards and mailed to property owners within 300 feet of the project site.

Authority: Section 17.44.020 of the Clayton Municipal Code (CMC) authorizes the Planning Commission to approve a site plan review permit in accordance with the standards of review in CMC Section 17.44.040.

DISCUSSION

The applicant is requesting Planning Commission consideration of a Site Plan Review Permit request to allow the construction of a single-story addition on the front and side of an existing single-story single-family residence. The project is proposed to be approximately 515 square feet in area and 16 feet, 6 inches in height and entails a new fourth bedroom, master bathroom, and garage addition. The vicinity map is provided as **Attachment 1** and the site plan, roof plan, floor plan, and architectural elevations are provided as **Attachment 2**. The addition has been designed with matching fascia, trim, stucco siding, and 4:12 roof pitch. The existing wood shingle roof material is proposed to be replaced with composition roof material. The proposed exterior materials and colors provide integration which will complement the residence. The proposed design of the addition provides visual interest and articulation through the recessed step-ins in the front, left side, and rear facades. Public views of the front elevation of the residence from right-of-way areas would benefit from the visual balancing provided by the project. The extension of the main building component out toward the left side property line adds massing to the overall structure that lends a visual balancing in the form of the extended main roof line being punctuated by the roof peak of the garage section.

Setback Analysis

The project meets the R-12 District standards as shown below.

Required Setbacks	Existing Setbacks	Proposed Setbacks	Project Compliance
Front Setback 20'	East 20'	East No Change	Yes
Side Setback 10' interior	North 15' South 27' 6"	North No Change South 15' 6"	Yes Yes
25' aggregate	Aggregate 42'	Aggregate 30' 6"	Yes
Rear Setback 15'	West 31'	North No Change	Yes

Residential Floor Area Analysis

Building Footprint

The proposal meets the building footprint requirements as shown below.

Lot Size	Building Footprint Allowed	Existing Building Footprint	Proposed Building Footprint	Project Compliance
12,100 sq ft	3,600 sq ft	2,655 sq ft	3,170 sq ft	Yes

Floor Area

The proposal meets the floor area requirements as shown below.

Lot Area	Floor Area Allowed	Existing Floor Area	Proposed Floor Area	Project Compliance
12,100 sq ft	5,200 sq ft	2,655 sq ft	3,170 sq ft	Yes

Comments Received

Staff was contacted via telephone by a citizen who received a public hearing notice in the mail. The citizen expressed support for the project.

Conclusion

Staff has reviewed the design aspects of the proposed plans relative to the Zoning Ordinance standards for Site Plan Review Permits and has determined that the project, as conditioned, is in conformance with the Zoning Ordinance standards. The proposed findings of approval listed below specifically address the standards.

RECOMMENDATION

Staff recommends the Planning Commission consider all information provided and submitted, take and consider all public testimony and, if determined to be appropriate, approve Site Plan Review Permit SPR-05-13 to allow the construction of a single-story addition measuring approximately 515 square feet in area and 16 feet, 6 inches in height on an existing single-story single-family residence.

Proposed Findings of Approval

Based upon the evidence set forth in the staff report, which includes relevant information from the project file, as well as testimony at the public hearing, the Planning Commission makes the following findings that Site Plan Review Permit SPR-05-13, as conditioned:

1. Is consistent with the General Plan designation and policies.
2. Meets the standards and requirements of the Zoning Ordinance.
3. Preserves the general safety of the community regarding seismic, landslide, flooding, fire, and traffic hazards.
4. Maintains solar rights of adjacent properties.
5. Reasonably maintains the privacy of adjacent property owners and/or occupants.
6. Reasonably maintains the existing views of adjacent property owners and/or occupants.
7. Is complementary, although not identical, with adjacent existing structures in terms of materials, colors, size, and bulk.
8. Is compatible with the neighborhood and surrounding land uses.

The above-stated findings assume acceptance and approval of the proposed conditions of approval listed below.

Proposed Condition of Approval

This condition of approval applies to the Site Plan, Roof Plan, Floor Plan, and Architectural Elevations, prepared by Teresa Muscarella Designs, date stamped August 14, 2013.

1. The applicant agrees to indemnify, protect, defend, and hold harmless the City and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes, proceedings, suits, damages, judgments, liens, levies, costs, and expenses of whatever nature, including, but not limited to, attorney's fees, costs, and disbursements arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City relating to this entitlement, and any environmental review conducted under the California Environmental Quality Act for this entitlement and related actions.

Advisory Notes

Advisory notes are provided to inform the applicant of: (a) Clayton Municipal Code requirements; and (b) requirements imposed by other agencies. The advisory notes state requirements that may be in addition to the conditions of approval.

1. The applicant shall comply with all applicable State, County, and City codes, regulations and adopted standards as well as pay all associated fees and charges.
2. Prior to obtaining a building permit, the applicant shall prepare an erosion and stormwater control plan for review and approval by the City Engineer (Clayton Municipal Code Chapter 13.12).
3. Prior to obtaining a building permit, the applicant shall prepare a construction and demolition recycling plan for review and approval by the Construction and Demolition Recycling Manager (Clayton Municipal Code Chapter 15.80).
4. This Site Plan Review Permit shall be used, exercised, or established within twelve months after the granting of the Permit, or a time extension must be obtained from the Planning Commission, otherwise the Permit shall be null and void (Clayton Municipal Code Sections 17.64.010-17.64.030).
5. All construction and other work shall occur only between 7:00 a.m. and 5:00 p.m. Monday through Friday. Any such work beyond these hours and days is strictly prohibited unless specifically authorized in writing by the City Engineer (Clayton Municipal Code Section 15.01.101) located at 5375 Clayton Road, Concord, 925-363-7433.
6. The applicant shall obtain the necessary building permits from the Contra Costa County Building Inspection Department.
7. Additional requirements may be imposed by the Contra Costa County Fire Protection District. Before proceeding with the project, it is advisable to check with the Fire District located at 2010 Geary Road, Pleasant Hill, 925-930-5500.
8. If the project site is located within an area subject to covenants, conditions, and restrictions (CC&Rs) administered by a homeowners' association (HOA), additional requirements and/or approvals may be required by the HOA. Before proceeding with the project, it is advisable to check with the HOA to ensure any applicable requirements are met.

Attachments:

1. Vicinity Map
2. Site Plan, Roof Plan, Floor Plan, and Architectural Elevations, prepared by Teresa Muscarella Designs, date stamped August 14, 2013

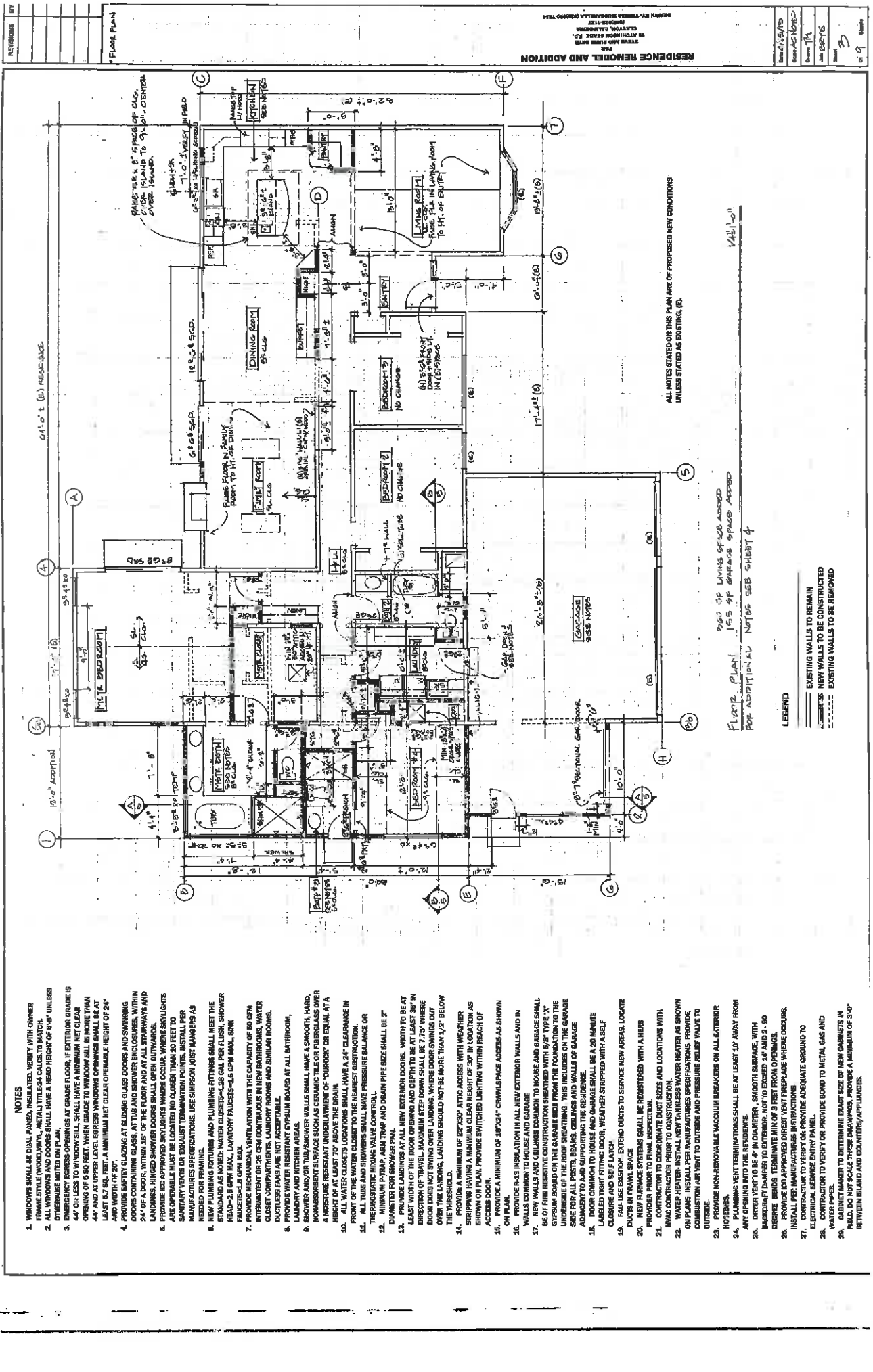
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VICINITY MAP

	Brye Residence SPR-05-13 Addition 19 Atchinson Stage Road APN: 120-031-003	N  (Not to Scale)
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ATTACHMENT - 2.



NOTES

1. WINDOWS SHALL BE DUAL PANELED, INSULATED, VERIFY WITH OWNER FRAME STYLE (WOOD/VINYL, METAL) TITLE 24 CALIF. TO MATCH.
2. ALL WINDOWS AND DOORS SHALL HAVE A HEAD HEIGHT OF 8'-0" UNLESS OTHERWISE NOTED ON PLAN.
3. EXTERIOR GRADE SHALL BE 4" BELOW FINISHED FLOOR GRADE. EXTERIOR GRADE IS 4" OR LESS TO WINDOW SILL. SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5'-0" FEET, WHEN GRADE TO WINDOW SILL IS MORE THAN 4" AND AT UPPER LEVEL, EXCESS WINDOWS OPENINGS SHALL BE AT LEAST 6'-0" FEET, A MINIMUM NET CLEAR OPENABLE HEIGHT OF 2'-0" AND WIDTH OF 2'-0".
4. PROVIDE SAFETY GLAZING AT SLIDING GLASS DOORS AND SWINNING DOORS CONTAINING GLASS. AT TUB AND SHOWER ENCLOSURES, WITHIN 4'-0" OF THE TUB AND SHOWER ENCLOSURE, PROVIDE GLASS DOORS WITH HINGED SHOWER DOORS. WHERE DOORS OCCUR, WHERE DOORS ARE OPERABLE MUST BE LOCATED NO CLOSER THAN 30 FEET TO SANITARY VENTS OR EXHAUST TERMINATION POINTS. INSTALL PER MANUFACTURER'S SPECIFICATIONS. USE SIMPSON JOIST HANGERS AS NEEDED FOR FRAMING.
5. NEW PLUMBING FITTINGS SHALL MEET THE STANDARD AS NOTED: WATER CLOSURES-1/2" GAL PER FLUSH, SHOWER VALVES-1/2" GAL PER FLUSH, LAUNDRY FAUCETS-1/2" GAL PER FLUSH, SINK FAUCETS-1/2" GAL PER FLUSH.
6. PROVIDE MECHANICAL VENTILATION WITH THE CAPACITY OF 10 CFM PER CLOSET COMPARTMENT. LAUNDRY ROOMS AND SIMILAR ROOMS. DUCTLESS FANS ARE NOT ACCEPTABLE.
7. PROVIDE WATER RESISTANT GYPSUM BOARD AT ALL BATHROOM, LAUNDRY AND KITCHEN AREAS.
8. SHOWER AND/OR TUB SHOWER WALLS SHALL HAVE A SMOOTH, HARD, WATER RESISTANT FINISH. PROVIDE A MINIMUM 1/2" CLEARANCE ABOVE A WATER RESISTANT UNDERLAYMENT OF "CURB" OR EQUAL AT A HEIGHT OF AT LEAST 70" ABOVE THE DRAIN.
9. ALL WATER CLOSURES SHALL HAVE A 24" CLEARANCE IN FRONT OF THE WATER CLOSURE TO THE NEAREST OBSTRUCTION.
10. ALL TUBS AND SHOWERS SHALL HAVE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROL.
11. MINIMUM 1/2" AIR GAP TRAP AND DRAIN PIPE SIZE SHALL BE 2" FOR ALL SINKS, SHOWERS, TUBS, AND DRAINAGE.
12. PROVIDE LANDING AT ALL NEW EXTERIOR DOORS. WIDTH TO BE AT LEAST 3'-0" OF THE DOOR OPENING AND DEPTH TO BE AT LEAST 3'-0" IN DIRECTION OF TRAVEL. MAXIMUM STEP DOWN SHALL BE 7/8" WHERE DOOR DOES NOT SWING OVER LANDING. WHERE DOOR SWINGS OUT OVER THE LANDING, LANDING SHOULD NOT BE MORE THAN 1/2" BELOW THE THRESHOLD.
13. PROVIDE A MINIMUM OF 22"X30" ATTIC ACCESS WITH WEATHER STRIPPING HAVING A MINIMUM CLEAR HEIGHT OF 30" IN LOCATION AS SHOWN ON PLAN. PROVIDE SWITCHED LIGHTING WITHIN REACH OF ACCESS DOOR.
14. PROVIDE A MINIMUM OF 1/4"X3/4" CHAMFER SPACE ACCESS AS SHOWN ON PLAN.
15. PROVIDE R-13 INSULATION IN ALL NEW EXTERIOR WALLS AND IN WALLS COMMON TO HOUSE AND GARAGE.
16. NEW WALLS AND CEILING COMMON TO HOUSE AND GARAGE SHALL BE OF FIRE RESISTIVE CONSTRUCTION SHOWN WITH 5/8" TYPE "X" GYPSUM BOARD ON BOTH SIDES OF THE WALL OR CEILING. PROVIDE UNBURNED 2"X4" JOISTS OR 2"X6" BEAMS, CEILING AND WALLS OF GARAGE SIDE FOR ALL POSTS, BEAMS, CEILING AND WALLS OF GARAGE ADJACENT TO AND SUPPORTING THE RESIDENCE.
17. DOOR COMMON TO HOUSE AND GARAGE SHALL BE A 20 MINUTE LABELED TIGHT FITTING DOOR. WEATHER STRIPPED WITH A SELF CLOSURE AND 18" LATCH.
18. FINI-USE EXISTING: EXTEND DUCTS TO SERVICE NEW AREAS. LOCATE DUCTS TO SERVICE NEW AREAS. LOCATE DUCTS TO SERVICE NEW AREAS.
19. PROVIDE EXISTING: EXTEND DUCTS TO SERVICE NEW AREAS. LOCATE DUCTS TO SERVICE NEW AREAS. LOCATE DUCTS TO SERVICE NEW AREAS.
20. NEW FURNACE SYSTEMS SHALL BE REGISTERED WITH A REPS PROVIDER PRIOR TO FINAL INSPECTION.
21. CONTRACTOR TO COORDINATE DUCT SIZES AND LOCATIONS WITH HVAC CONTRACTOR PRIOR TO CONSTRUCTION.
22. WATER HEATER: INSTALL NEW TANKLESS WATER HEATER AS SHOWN ON PLAN. INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE COMBUSTION AIR VENT TO OUTSIDE AND PRESSURE RELIEF VALVE TO OUTSIDE.
23. PROVIDE NON-REMOVABLE VACUUM BREAKERS ON ALL EXTERIOR HOSEBIBS.
24. PLUMBING VENT TERMINATIONS SHALL BE AT LEAST 10' AWAY FROM ANY OPENING INTO THE RESIDENCE.
25. DRAIN VENT TO BE 4" IN DIAMETER, SMOOTH SURFACE, WITH BACKDRAFT DAMPER TO EXTERIOR. NOT TO EXCEED 24" AND 2-50 DEGREE BENDS TERMINATE MIN OF 3 FEET FROM OPENING.
26. PROVIDE EXISTING APPROVED DIRECT VENT FIREPLACE WHERE OCCURS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
27. PROVIDE EXISTING APPROVED DIRECT VENT FIREPLACE WHERE OCCURS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
28. CONTRACTOR TO VERIFY OR PROVIDE BOND TO METAL GAS AND WATER PIPES.
29. CABINET MAINT TO DETERMINE EXACT SIZE OF NEW CABINETS IN FIELD. DO NOT SCALE THESE DRAWINGS. PROVIDE A MINIMUM OF 3'-0" BETWEEN ISLAND AND COUNTERS/APPLIANCES.

LEGEND

- EXISTING WALLS TO REMAIN
- NEW WALLS TO BE CONSTRUCTED
- NEW WALLS TO BE REMOVED

14'-0" OF LIVING SPACE ADDED
155' OF EXTERIOR SPACE ADDED
FOR ADDITIONAL NOTES SEE SHEET 4

ALL NOTES STATED ON THIS PLAN ARE OF PROPOSED NEW CONDITIONS UNLESS STATED AS EXISTING (E).

RESIDENCE REMODEL AND ADDITION
J. J. J. ARCHITECTS
1000 N. 10TH AVE. SUITE 100
DENVER, CO 80202
PHONE: 303.733.1111
FAX: 303.733.1112
WWW.JJJARCHITECTS.COM

PLANNING COMMISSION STAFF REPORT

Meeting Date: September 24, 2013

Item Number: 5.b

From: Milan J. Sikela, Jr. *MS*
Assistant Planner

Subject: Public Hearing to consider a Site Plan Review Permit request to construct a 1,027 square-foot second-story addition on an existing two-story residence (SPR-06-13)

Applicant: Jason and Stephanie Craig

REQUEST

Public Hearing to consider a Site Plan Review Permit request to construct a second-story addition on an existing two-story single-family residence. The addition is proposed to be approximately 1,027 square feet in area and 23 feet in height.

PROJECT INFORMATION

Location: 369 Mt. Washington Way
APN: 119-221-006

General Plan Designation: Low Density – Single Family Residential (1.1 to 3.0 units per acre).

Zoning: Single Family Residential R-10 District (10,000 square-foot minimum lot area).

Environmental Review: Categorically exempt per Section 15303(a), Class 3 of the California Environmental Quality Act (CEQA) Guidelines.

Public Notice: On September 13, 2013, a public hearing notice was posted at the notice boards and mailed to property owners within 300 feet of the project site.

Authority: Section 17.44.020 of the Clayton Municipal Code (CMC) authorizes the Planning Commission to approve a site plan review permit in accordance with the standards of review in CMC Section 17.44.040.

DISCUSSION

The applicant is requesting Planning Commission consideration of a Site Plan Review Permit request to allow the construction of a second-story addition on an existing two-story single-family residence. The project is proposed to be approximately 1,027 square feet in area and 23 feet in height. The proposed addition entails an extension of the existing second-story toward the rear of the residence to create a new master bedroom, master bathroom, and walk-in closets. The vicinity map is provided as **Attachment 1** and the site plan, roof plan, floor plan, and architectural elevations are provided as **Attachment 2**. The project includes removal of the existing vertical siding on all elevations to be replaced with horizontal siding. Also, modification of the existing stone veneer on the front elevation is proposed with the stone veneer being reduced in vertical height and extended horizontally adjacent to the garage door, along the front porch, and around the front support columns. The addition has been designed with matching composition shingle roof material and 4:12 roof pitch. From the staff perspective, the applicant has designed the addition to have minimal visual impact to public areas since the massing on the front elevation will not change while maximizing the buildable potential of the residence within the existing footprint. The addition will provide presence and visual depth to the second story of the residence.

Setback Analysis

The project meets the R-10 District standards as shown below.

Required Setbacks	Existing Setbacks	Proposed Setbacks	Project Compliance
Front Setback 20'	North 20'	North No Change	Yes
Side Setback 10' interior	East 15' 6" West 19' 6"	East No Change West No Change	Yes Yes
25' aggregate	Aggregate 35'	Aggregate No Change	Yes
Rear Setback 15'	South 29'	South No Change	Yes

Residential Floor Area Analysis

Building Footprint

The proposal meets the building footprint requirements as shown below.

Lot Size	Building Footprint Allowed	Existing Building Footprint	Proposed Building Footprint	Project Compliance
10,450 sq ft	3,120 sq ft	2,444 sq ft	2,444 sq ft	Yes

Floor Area

The proposal meets the floor area requirements as shown below.

Lot Area	Floor Area Allowed	Existing Floor Area	Proposed Floor Area	Project Compliance
10,450 sq ft	4,853 sq ft	2,979 sq ft	4,006 sq ft	Yes

Comments Received

Staff received a letter from a citizen who received a public hearing notice in the mail. In the letter, the citizen expressed support for the project.

Conclusion

Staff has reviewed the design aspects of the proposed plans relative to the Zoning Ordinance standards for Site Plan Review Permits and has determined that the project, as conditioned, is in conformance with the Zoning Ordinance standards. The proposed findings of approval listed below specifically address the standards.

RECOMMENDATION

Staff recommends the Planning Commission consider all information provided and submitted, take and consider all public testimony and, if determined to be appropriate, approve Site Plan Review Permit SPR-06-13 to allow the construction of a second-story addition measuring approximately 1,027 square-feet in area and 23 feet in height on an existing two-story single-family residence.

Proposed Findings of Approval

Based upon the evidence set forth in the staff report, which includes relevant information from the project file, as well as testimony at the public hearing, the Planning Commission makes the following findings that Site Plan Review Permit SPR-06-13, as conditioned:

1. Is consistent with the General Plan designation and policies.
2. Meets the standards and requirements of the Zoning Ordinance.
3. Preserves the general safety of the community regarding seismic, landslide, flooding, fire, and traffic hazards.
4. Maintains solar rights of adjacent properties.
5. Reasonably maintains the privacy of adjacent property owners and/or occupants.
6. Reasonably maintains the existing views of adjacent property owners and/or occupants.
7. Is complementary, although not identical, with adjacent existing structures in terms of materials, colors, size, and bulk.
8. Is compatible with the neighborhood and surrounding land uses.

The above-stated findings assume acceptance and approval of the proposed conditions of approval listed below.

Proposed Condition of Approval

This condition of approval applies to the Site Plan, Roof Plan, Floor Plan, and Architectural Elevations, prepared by Elevate Design & Build, date stamped September 12, 2013.

1. The applicant agrees to indemnify, protect, defend, and hold harmless the City and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes, proceedings, suits, damages, judgments, liens, levies, costs, and expenses of whatever nature, including, but not limited to, attorney's fees, costs, and disbursements arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City relating to this entitlement, and any environmental review conducted under the California Environmental Quality Act for this entitlement and related actions.

Advisory Notes

Advisory notes are provided to inform the applicant of: (a) Clayton Municipal Code requirements; and (b) requirements imposed by other agencies. The advisory notes state requirements that may be in addition to the conditions of approval.

1. The applicant shall comply with all applicable State, County, and City codes, regulations and adopted standards as well as pay all associated fees and charges.
2. Prior to obtaining a building permit, the applicant shall prepare an erosion and stormwater control plan for review and approval by the City Engineer (Clayton Municipal Code Chapter 13.12).
3. Prior to obtaining a building permit, the applicant shall prepare a construction and demolition recycling plan for review and approval by the Construction and Demolition Recycling Manager (Clayton Municipal Code Chapter 15.80).
4. This Site Plan Review Permit shall be used, exercised, or established within twelve months after the granting of the Permit, or a time extension must be obtained from the Planning Commission, otherwise the Permit shall be null and void (Clayton Municipal Code Sections 17.64.010-17.64.030).
5. All construction and other work shall occur only between 7:00 a.m. and 5:00 p.m. Monday through Friday. Any such work beyond these hours and days is strictly prohibited unless specifically authorized in writing by the City Engineer (Clayton Municipal Code Section 15.01.101) located at 5375 Clayton Road, Concord, 925-363-7433.
6. The applicant shall obtain the necessary building permits from the Contra Costa County Building Inspection Department.
7. Additional requirements may be imposed by the Contra Costa County Fire Protection District. Before proceeding with the project, it is advisable to check with the Fire District located at 2010 Geary Road, Pleasant Hill, 925-930-5500.
8. If the project site is located within an area subject to covenants, conditions, and restrictions (CC&Rs) administered by a homeowners' association (HOA), additional requirements and/or approvals may be required by the HOA. Before proceeding with the project, it is advisable to check with the HOA to ensure any applicable requirements are met.

Attachments:

1. Vicinity Map
2. Site Plan, Roof Plan, Floor Plan, and Architectural Elevations, prepared by Elevate Design & Build, date stamped September 12, 2013

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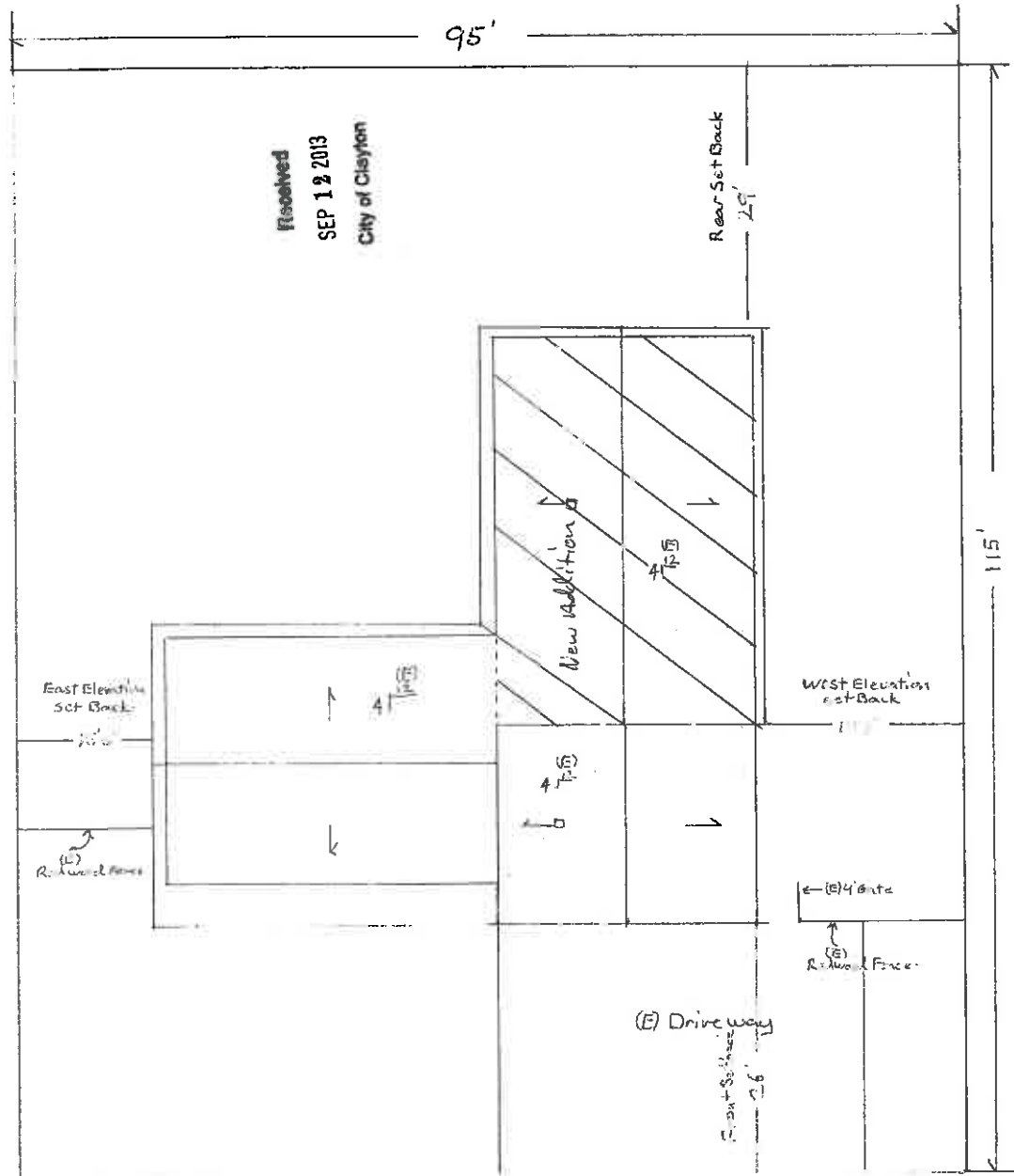


VICINITY MAP

	Craig Residence SPR-06-13 Second-Story Addition 369 Mt. Washington Way APN: 119-221-006	 (Not to Scale)
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Saville Building
 and Construction
 725-813-8851
 Property Address
 369 Mt Washington
 Way
 Owner:
 Jason & Stephanie
 Craig
 Project:
 Rebuild Addition
 Behind Existing
 2nd Story



Received
 SEP 12 2013
 City of Clayton

Existing Site Plan - Existing Roof Plan - Plot Plan - Set Backs Scale 1/4" = 3'

Mt Washington Way



Sevilla Building
and Construction
425-434581

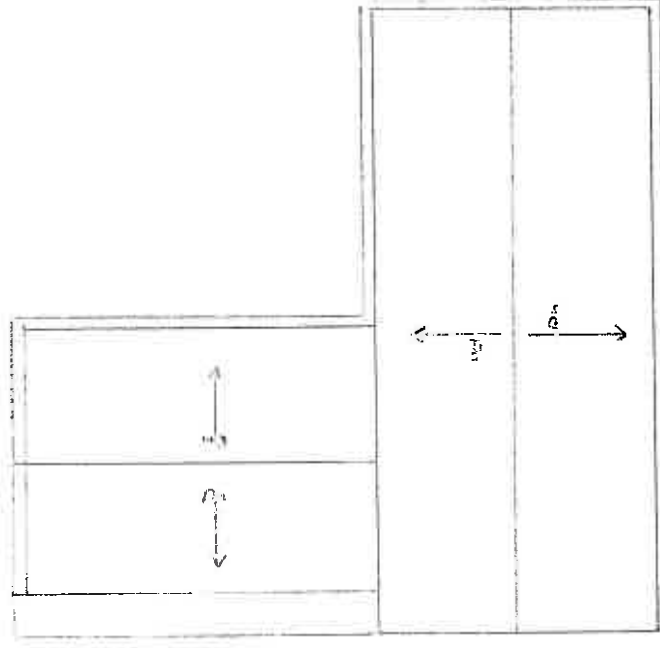
Property Address

357
MIT Washington

Owner -
Jason and
Stephanie Craig

Project:

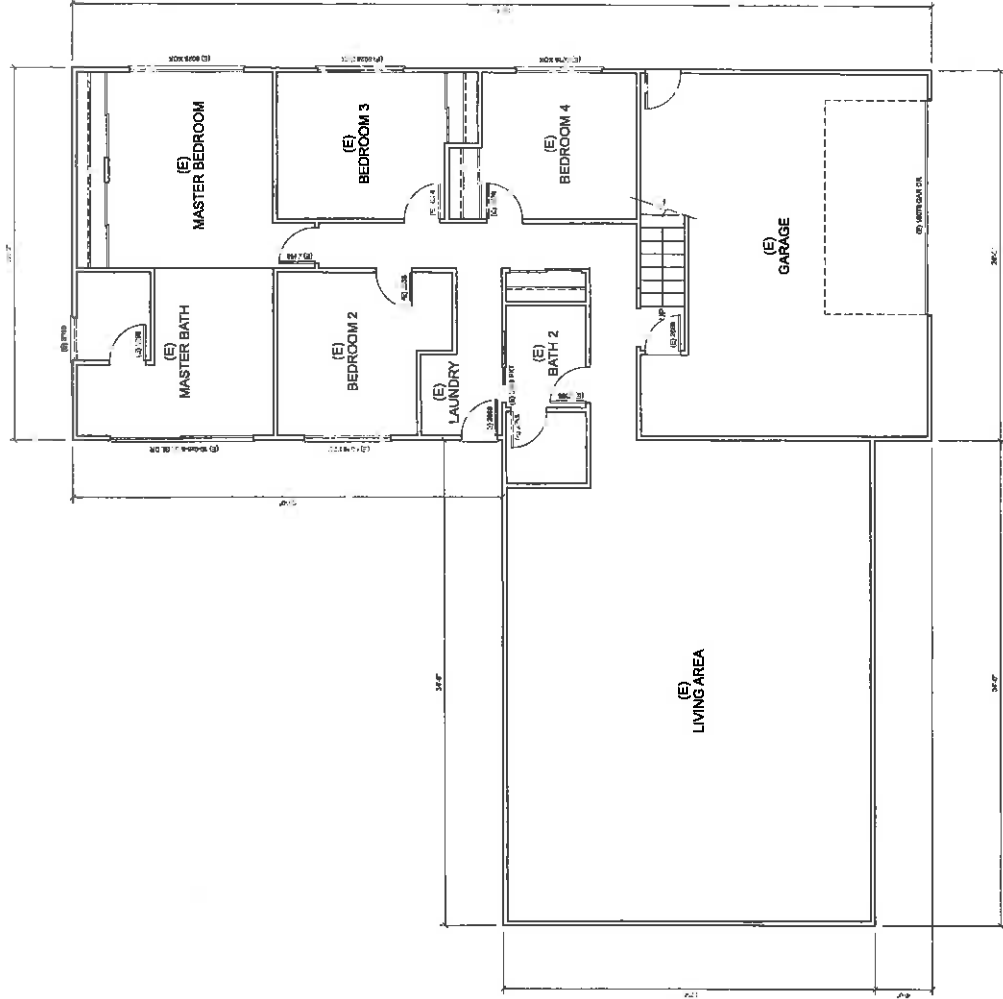
Room Addition
behind Existing
2nd Story.



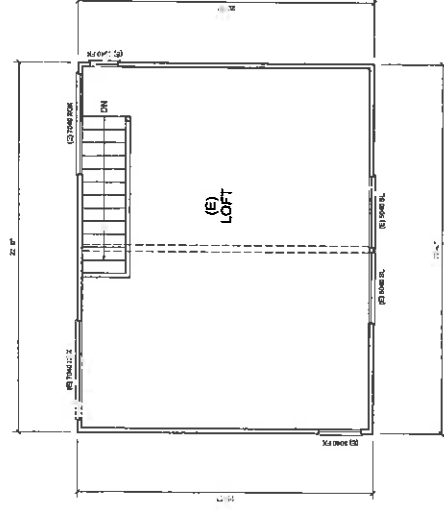
New Roof Plan. Scale = 1/4" = 3'



CRAIG RESIDENCE
ADDITION
369 MT. WASHINGTON WAY
CLAYTON, CA



EXISTING FIRST FLOOR PLAN



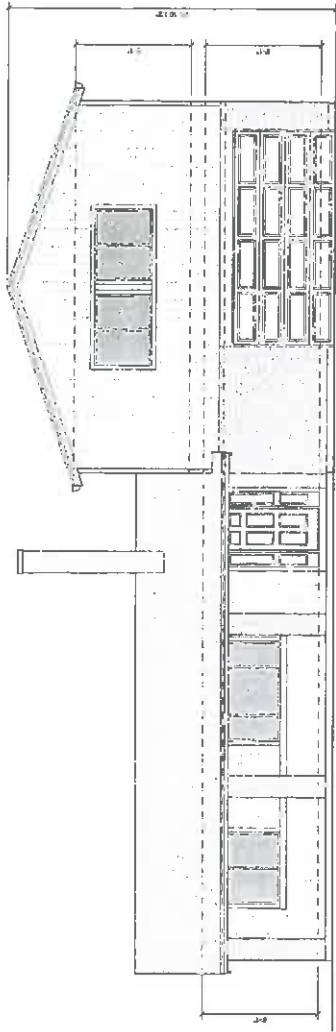
EXISTING SECOND FLOOR PLAN

EXISTING
FLOOR PLANS

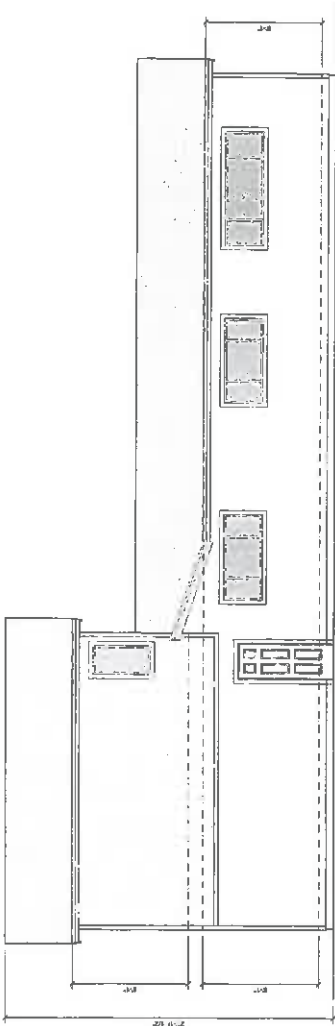
SCALE: 1/8" = 1'-0"	SHEET
JOB 13-CRAIG	
DRAWN JNH	A1.1
DATE 8-29-13	



CRAIG RESIDENCE
ADDITION
369 MT. WASHINGTON WAY
CLAYTON, CA



EXISTING FRONT ELEVATION



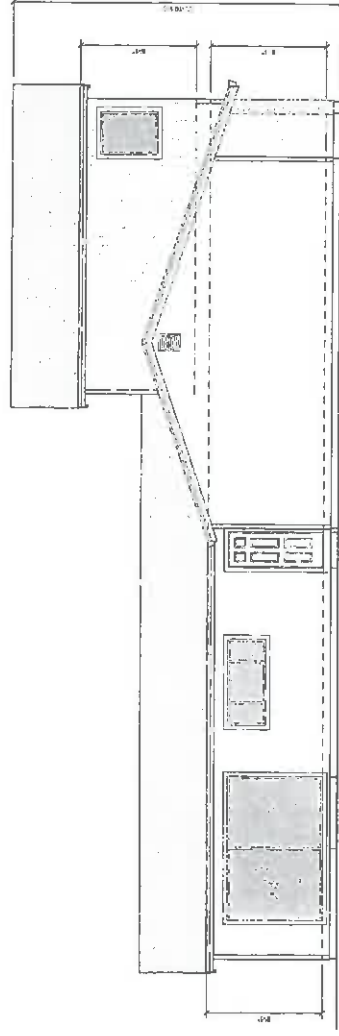
EXISTING RIGHT SIDE ELEVATION

EXISTING
EXTERIOR ELEVATIONS

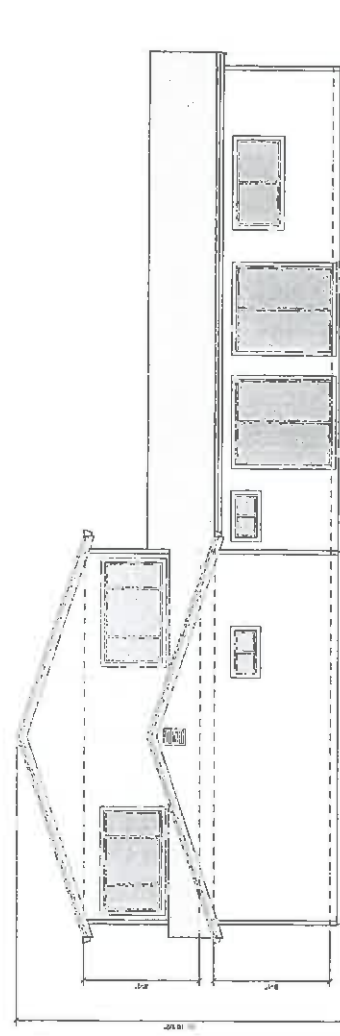
SCALE: 1/4" = 1'-0"
JOB: 13-CRAIG
DRAWN: JNH
DATE: 8-29-13
SHEET
A1.2



CRAIG RESIDENCE
ADDITION
369 MT. WASHINGTON WAY
CLAYTON, CA



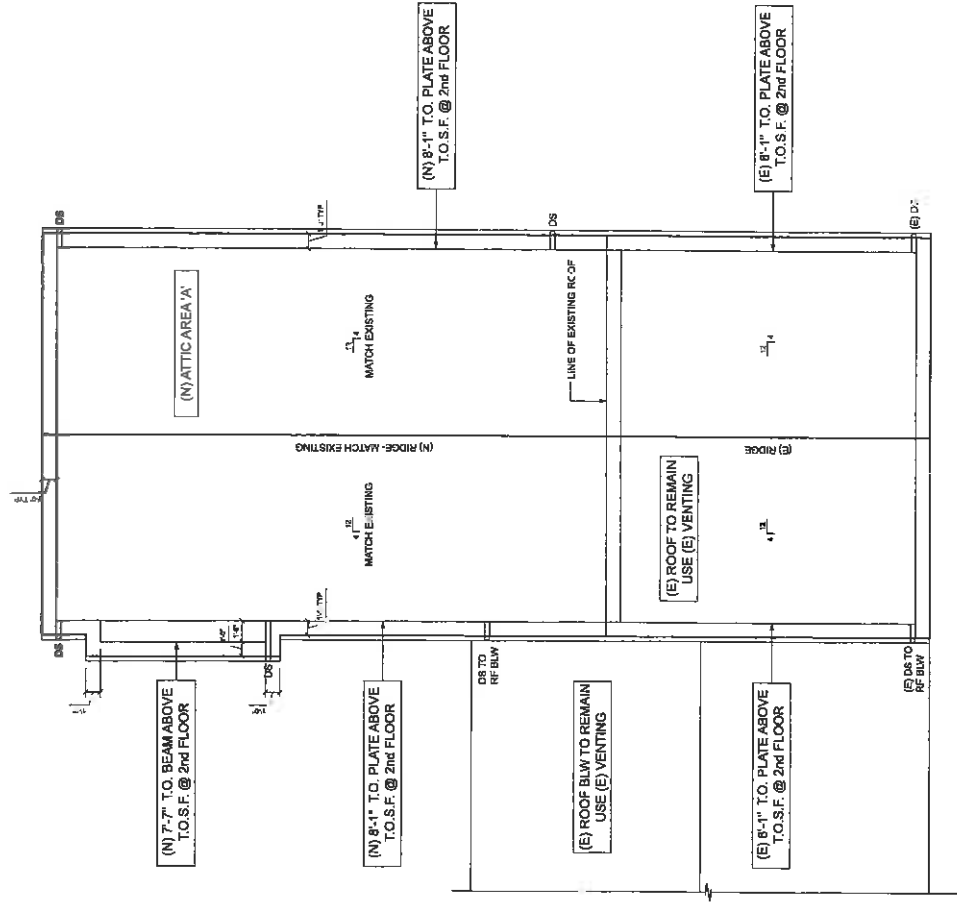
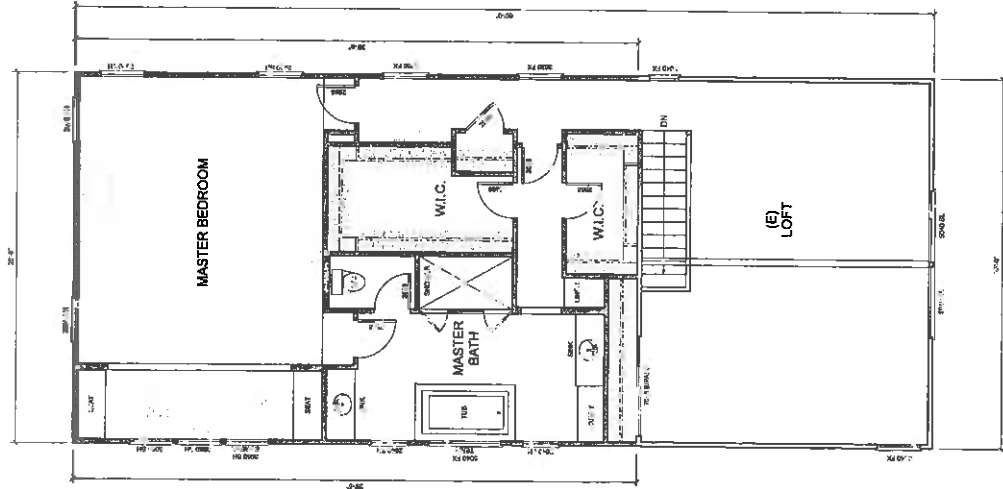
EXISTING LEFT SIDE ELEVATION



EXISTING REAR ELEVATION

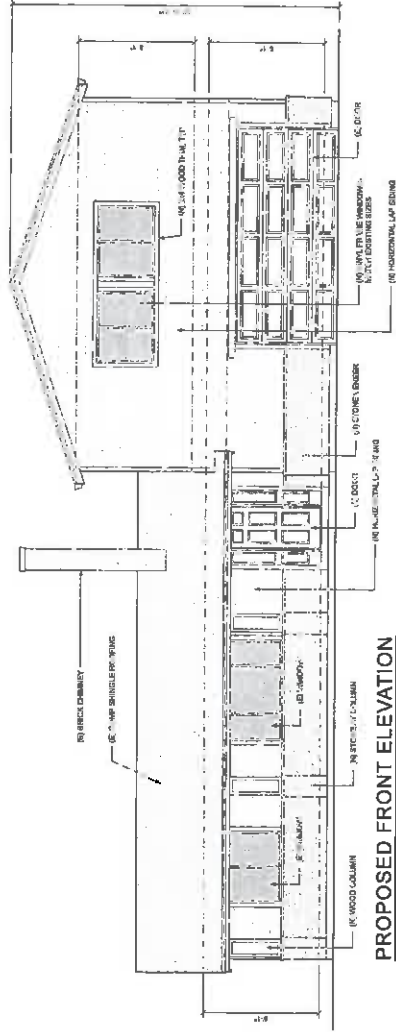
EXISTING
EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0" SHEET
JOB 13-CRAIG
DRAWN JNH
DATE 8-29-13
A1.3

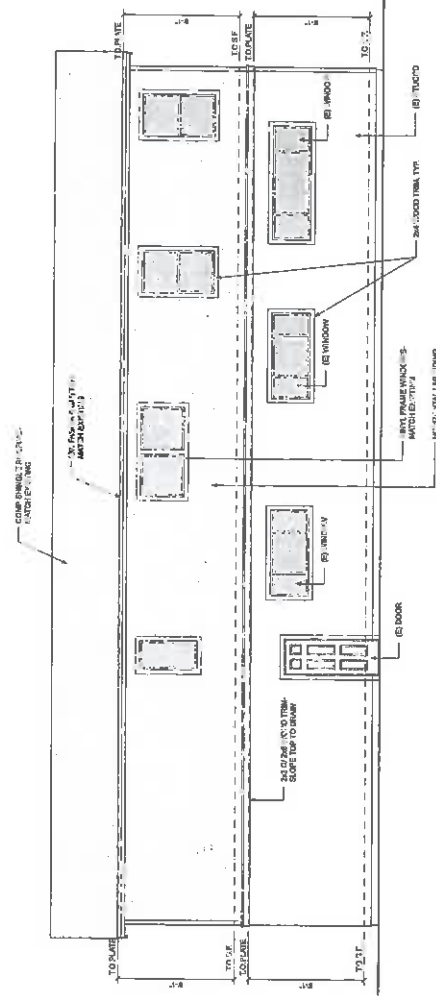


PROPOSED SECOND FLOOR PLAN

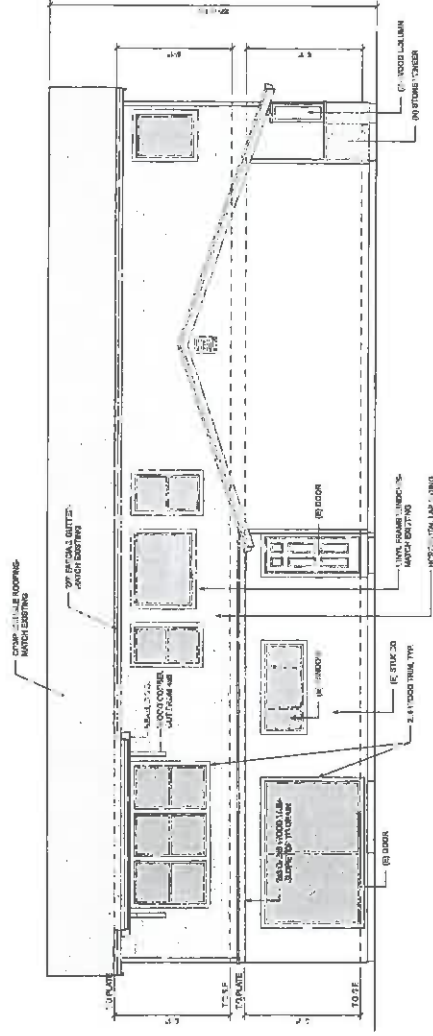
PROPOSED ROOF PLAN



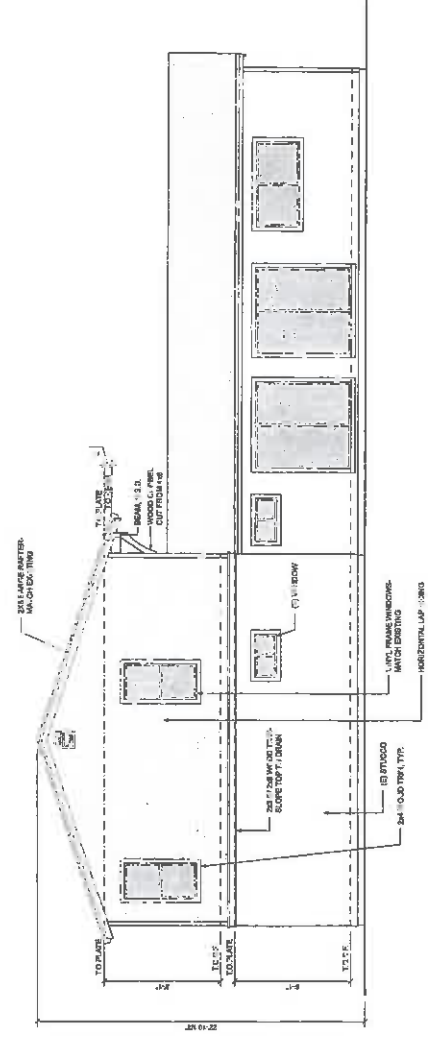
PROPOSED FRONT ELEVATION



PROPOSED RIGHT SIDE ELEVATION



PROPOSED LEFT SIDE ELEVATION



PROPOSED REAR ELEVATION

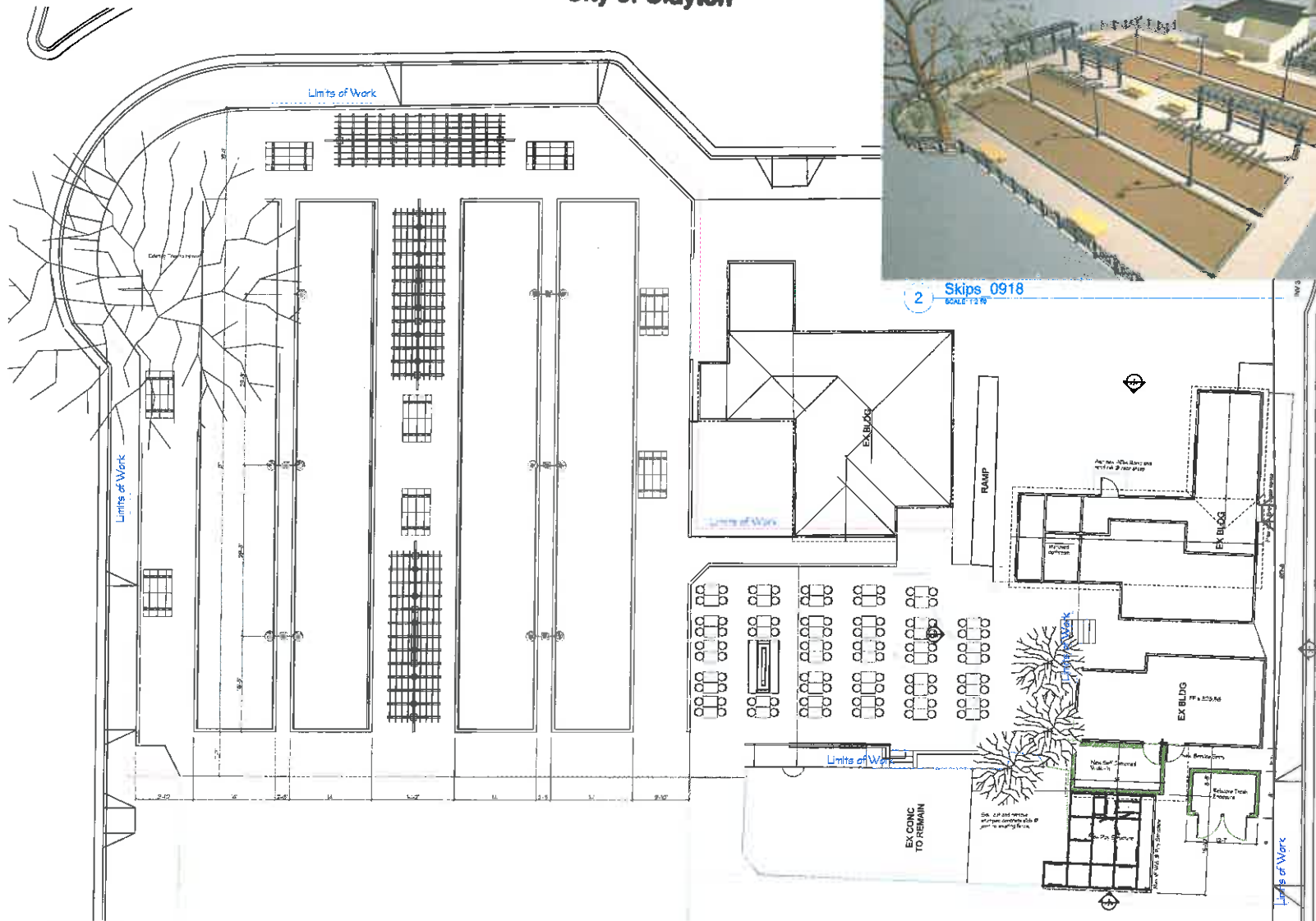
Received

SEP 18 2013

City of Clayton



2 Skips 0918
SCALE: 1/2" = 1'-0"



1 Site Plan
SCALE: 1/8" = 1'-0"
If printed @ architectural D size (24" x 36")

Vizflx
PO Box 974
Clayton, CA 94517

CONSULTANTS



Skipolini's Pizza
1035 Diablo Street, Clayton, CA
Isaac Family

FORM DATE	DESCRIPTION
PROJECT NO.	2190812
MODEL FILE	708
DRAWN BY	708
CHECK BY	708
COPYRIGHT	2013 VIZFLX

SHEET TITLE

Site Plan

A-101

SHEET 4 OF 1