AGENDA
PLANNING COMMISSION
Regular Meeting
7:00 P.M. on Tuesday, January 14, 2014

Hoyer Hall, Clayton Community Library, 6125 Clayton Road, Clayton, California

1. CALL TO ORDER, ROLL CALL, PLEDGE TO THE FLAG

2. ADMINISTRATIVE

2.a. Review of agenda items.
2.b. Declaration of Conflict of Interest.
2.c. Commissioner Keith Haydon to report at the City Council meeting of January 21, 2014 (alternate Commissioner Sandy Johnson).

3. PUBLIC COMMENT

4. MINUTES

4.a. Approval of the minutes for the December 10, 2013 regular meeting. (View Here)

5. PUBLIC HEARINGS

5.a. **SPR-08-13, Site Plan Review Permit, John Raycraft,** 50 Mountaire Place (APN: 119-290-020). A request for consideration of Site Plan Review Permit for an 86 square-foot second-story addition and associated exterior improvements to and existing two-story residence. Pursuant to California Environmental Quality Act (CEQA) Guideline 15301, the project is categorically exempt from CEQA. (View Here)

Staff Recommendation: Approval, with conditions.

5.b. **SPR-07-13, UP-01-13, LLA-01-13, VAR-01-13, LLA-01-13, Kent Ipsen,** 1033-1035 Diablo Street and 6026 Main Street (APNs: 119-013-002, -003, -004, -007, and -008). A request for consideration of a Site Plan Review Permit to remodel the existing Skipolini's Pizza Restaurant and associated exterior improvements, a Use Permit for four (4) bocce ball courts ancillary to the existing restaurant, a Lot Line Adjustment to five (5) existing parcels, and a Variance for the average lot width and lot size of an existing nonconforming lot. Pursuant to California Environmental Quality Act (CEQA) Guidelines Sections 15301 and 15303, the project is categorically exempt from CEQA. (View Here)

Staff Recommendation: That the Planning Commission receive and consider the staff report, receive and consider any public comment and then continue the Public Hearing for this item to the next regularly scheduled Planning Commission meeting date of January 28, 2014.

6. OLD BUSINESS

None.

7. NEW BUSINESS

None.

8. COMMUNICATIONS

8.a. Staff.
8.b. Commission.

9. ADJOURNMENT

9.a. The next regularly-scheduled meeting of the Planning Commission will be held on **Tuesday, January 28, 2014 at 7:00 p.m.**

Most Planning Commission decisions are appealable to the City Council within ten (10) calendar days of the decision. Please contact Community Development Department staff for further information immediately following the decision. If the decision is appealed, the City Council will hold a public hearing and make a final decision. If you challenge a final decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing(s), either in oral testimony at the hearing(s) or in written correspondence delivered to the Community Development Department at or prior to the public hearing(s). Further, any court challenge must be made within 90 days of the final decision on the noticed matter. If you have a physical impairment that requires special accommodations to participate, please contact the Community Development Department at least 72 hours in advance of the meeting at 925-673-7340. An affirmative vote of the Planning Commission is required for approval. A tie vote (e.g., 2-2) is considered a denial. Therefore, applicants may wish to request a continuance to a later Commission meeting if only four Planning Commissioners are present.

Any writing or documents provided to the majority of the Planning Commission after distribution of the agenda packet regarding any item on this agenda will be made available for public inspection in the Community Development Department located at 6000 Heritage Trail during normal business hours.

Plng Comm\Agendas\2014\0114

Minutes
Clayton Planning Commission Meeting
Tuesday, December 10, 2013

1. CALL TO ORDER, ROLL CALL, PLEDGE TO THE FLAG

Chair Manning called the meeting to order at 7:00 p.m. at Hoyer Hall, 6125 Clayton Road, Clayton.

Present: Chair Gregg Manning
Vice Chair Dan Richardson
Commissioner David Bruzzone
Commissioner Keith Haydon
Commissioner Sandra Johnson

Absent: None

Staff: Community Development Director Charlie Mullen
Assistant Planner Milan J. Sikela, Jr.

2. ADMINISTRATIVE

2.a. Review of agenda items.
2.b. Declaration of Conflict of Interest.
2.c. Commissioner David Bruzzone to report at the City Council meeting of December 17, 2013.

3. PUBLIC COMMENT

None.

4. MINUTES

4.a. Approval of the minutes for the October 22, 2013 regular meeting.

Commissioner Johnson moved and Vice Chair Richardson seconded a motion to approve the minutes, as submitted. The motion passed 5-0.

5. PUBLIC HEARINGS

5.a. **ENV-01-08, DP-01-08, MAP-02-09, TE-01-13, Development Plan Time Extension, Creekside Terrace Mixed Use Project, City of Clayton,** 1005 and 1007 Oak Street, west side of Oak Street between Center Street and High Street (APNs: 119-050-008, 119-050-009, and 119-050-034). Review and consideration of a one-year time extension of the Creekside Terrace Development Plan which was previously-approved on July 6, 2010 with subsequent one-year extensions granted on October 25, 2011 and again on December 11, 2013, extending the approval to January 6, 2014. This request is in accordance with Section 17.28.190 of the Clayton Municipal Code.

Assistant Planner Sikela presented the staff report.

Commissioner Bruzzone asked does the City have the authority to approve one-year time extensions without a limit on the number of extensions? Assistant Planner Sikela responded that, yes, the City can approve time extensions in perpetuity as the Clayton Municipal Code does not place a maximum limit on the number of time extensions. Director Mullen added that, although there is no maximum limit on the number of time extensions, issues related to the California Environmental Quality Act may become a factor over time as environmental requirements and regulations change.

In response to the Clayton Community Church letter, Commissioner Johnson confirmed that staff had used the most current mailing list as provided by the Contra Costa County Assessors Office and, as a result, had mailed the public hearing notice for this item to the current property owner of record. Assistant Planner Sikela indicated that was correct.

Vice Chair Richardson asked did the Clayton Community Church receive public hearing notices in years past at their offices on Main Street for the original public hearings approving the current Creekside Terrace entitlements? Director Mullen indicated that the Clayton Community Church office property and adjacent property on Main Street are outside of the 300-foot noticing radius for the Creekside Terrace project site. As a result, the Clayton Community Church would not have been sent a public hearing notice.

Chair Manning had the following questions:

- Is there a developer currently showing interest in the Creekside Terrace project? Director Mullen replied yes.
- Was there a developer involved when the Creekside Terrace entitlement requests were first proposed and processed? Director Mullen responded that, yes, there was developer that had first proposed and applied for the Creekside Terrace entitlements. However, due to the downturn in the economy several years ago, that developer did not see the project through so the City's Redevelopment Agency stepped in to complete the entitlements process in order to be able to market the property.

The public hearing was opened.

There were no public comments.

The public hearing was closed.

Commissioner Haydon moved and Commissioner Johnson seconded a motion to adopt Resolution No. 06-13 extending for one year the Creekside Terrace Development Plan from January 6, 2014 through January 6, 2015. The motion passed 5-0.

6. OLD BUSINESS

None.

7. NEW BUSINESS

None.

8. COMMUNICATIONS

8.a. Staff.

Director Mullen provided the following updates:

- Regarding the Skipolini's Bocce Ball project, in order to assist in facilitation of the applicant's timeline, staff approved an interior remodel for Skipolini's Pizza Garden. Other modifications to the restaurant and adjacent outdoor areas include a consolidation of roof equipment, exterior detailing, and relocation of play structure. Staff provided an incompleteness letter to applicant after receiving input from the City Engineer. The project is close to being complete, but we are still ironing out some last minute details with the applicant.

  Chair Manning asked if the Commission will be reviewing the Skipolini's Bocce Ball proposal in January? Director Mullen indicated that it depends on when the applicant addresses the incompleteness issues.

- Regarding Creekside Terrace, negotiations are underway between the City and a prospective developer. It is anticipated that, in January 2014, the developer will submit an application to modify the proposal. The developer is proposing to increase the number of units and add a third floor.
- Regarding Silver Oak Estates, staff continues to work with the environmental consultant to ensure that the analysis in the environmental document addresses the issues raised at the information meeting by the neighbors and is a legally defensible analysis.

8.b. Commission.

None.

9. ADJOURNMENT

9.a. The next regularly-scheduled meeting of the Planning Commission on December 24, 2013 was cancelled. The meeting was adjourned at 7:25 p.m. to the regularly-scheduled meeting of the Planning Commission on January 14, 2013.

Submitted by Charlie Mullen Community Development Director	Approved by Gregg Manning Chair

Com Dev\Plng Comm\Minutes\2013\1210

CITY OF CLAYTON
PLANNING COMMISSION
STAFF REPORT

Meeting Date:	**January 14, 2014**
Item Number:	**5.a**
From:	**Milan J. Sikela, Jr.** MS **Assistant Planner**
Subject:	**Public Hearing to consider a Site Plan Review Permit for a second-story addition and associated exterior improvements to an existing two-story single-family residence (SPR-08-13).**
Applicant:	**John Raycraft**

REQUEST

Public Hearing to consider a Site Plan Review Permit request for an 86 square-foot second-story addition and associated exterior improvements on an existing two-story single-family residence.

PROJECT INFORMATION

Location:	50 Mountaire Place APN: 119-290-020
General Plan Designation:	Low Density – Single Family Residential (1.1 to 3.0 units per acre).
Zoning:	Single Family Residential R-10 District (10,000 square-foot minimum lot area).
Environmental Review:	Categorically exempt per Section 15301 of the California Environmental Quality Act (CEQA) Guidelines.
Public Notice:	On December 27, 2013, a public hearing notice was posted at the notice boards and mailed to property owners within 300 feet of the project site.
Authority:	Section 17.44.020 of the Clayton Municipal Code (CMC) authorizes the Planning Commission to approve a Site Plan Review Permit in accordance with the standards of review in CMC Section 17.44.040.

DISCUSSION

The applicant is requesting Planning Commission consideration of a Site Plan Review Permit request to allow the construction of a second-story addition on an existing two-story single-family residence as well as associated exterior improvements. The vicinity map is provided as **Attachment 1** and the site plan, architectural elevations, and floor plan are provided as **Attachment 2**. The project includes an approximate 86 square-foot second-story fill-in closet addition extending outward from the right wall of the existing second-story bedroom on the front of the residence. The addition encompasses a former open area under the existing roof eave. At the back of this open area, an existing bathroom window will be removed as part of the construction of the addition, and a new window will be provided on the front elevation of the addition. Furthermore, the associated exterior improvements involve the following modifications:

- Removal of the balcony and sliding glass door on the second-story bedroom on the front of the residence and replacement of the balcony and sliding glass door with a window;
- Removal of two support columns on either side of the entryway and replacement of the columns with a singular support column located to the right of the entryway;
- Replacement of the existing window located to the right of the front door with a new window;
- Replacement of the existing cedar shingle siding on the front elevation with new stucco siding and rock veneer wainscot (both of which will wrap around several feet on the side elevations); and
- Installation of new roofing, fascia, gutters, trim, and light fixtures.

Setback and Residential Floor Area Analysis

Since the project does not involve expansion of the existing footprint and entails only removal of an existing balcony, construction of a fill-in addition, and associated exterior improvements, the existing setbacks would not be altered. Also, the residential floor area requirements listed in Section 17.78.040.B of the Clayton Municipal Code (which regulates the building footprint and floor area of residential structures) exempts small additions of less than 200 square feet. As a result, the project complies with applicable setback, building footprint, and floor area requirements.

Conclusion

Given the reduction of privacy impacts caused by removal of the balcony as well as the visual interest fostered by the addition and associated exterior improvements, the project provides articulation of and integration with the existing two-story residence. Staff has reviewed the design aspects of the proposed plans relative to the Zoning Ordinance standards for Site Plan Review Permits and has determined that the project, as conditioned, is in conformance with the Zoning Ordinance standards. The proposed findings of approval listed below specifically address the standards.

RECOMMENDATION

Staff recommends the Planning Commission consider all information provided and submitted, take and consider all public testimony and, if determined to be appropriate, approve Site Plan Review Permit SPR-08-13 to allow the construction of a second-story addition and associated exterior improvements on an existing two-story single-family residence.

Proposed Findings of Approval

Based upon the evidence set forth in the staff report, which includes relevant information from the project file, as well as testimony at the public hearing, the Planning Commission makes the following findings that Site Plan Review Permit SPR-08-13, as conditioned:

1. Is consistent with the General Plan designation and policies.
2. Meets the standards and requirements of the Zoning Ordinance.
3. Preserves the general safety of the community regarding seismic, landslide, flooding, fire, and traffic hazards.
4. Maintains solar rights of adjacent properties.
5. Reasonably maintains the privacy of adjacent property owners and/or occupants.
6. Reasonably maintains the existing views of adjacent property owners and/or occupants.
7. Is complementary, although not identical, with adjacent existing structures in terms of materials, colors, size, and bulk.
8. Is compatible with the neighborhood and surrounding land uses.

The above-stated findings assume acceptance and approval of the proposed condition of approval listed below.

Proposed Condition of Approval

This condition of approval applies to the Site Plan, Architectural Elevations, and Floor Plan prepared and submitted by the applicant, date stamped December 26, 2013.

1. The applicant agrees to indemnify, protect, defend, and hold harmless the City and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes, proceedings, suits, damages, judgments, liens, levies, costs, and expenses of whatever nature, including, but not limited to, attorney's fees, costs, and disbursements arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City relating to this entitlement, and any environmental review conducted under the California Environmental Quality Act for this entitlement and related actions.

Advisory Notes

Advisory notes are provided to inform the applicant of: (a) Clayton Municipal Code requirements; and (b) requirements imposed by other agencies. The advisory notes state requirements that may be in addition to the conditions of approval.

1. The applicant shall comply with all applicable State, County, and City codes, regulations and adopted standards as well as pay all associated fees and charges.
2. This Site Plan Review Permit shall be used, exercised, or established within twelve months after the granting of the Permit, or a time extension must be obtained from the Planning Commission, otherwise the Permit shall be null and void (Clayton Municipal Code Sections 17.64.010-17.64.030).
3. All construction and other work shall occur only between 7:00 a.m. and 5:00 p.m. Monday through Friday. Any such work beyond these hours and days is strictly prohibited unless specifically authorized in writing by the City Engineer (Clayton Municipal Code Section 15.01.101) located at 5375 Clayton Road, Concord, 925-363-7433.
4. The applicant shall obtain the necessary building permits from the Contra Costa County Building Inspection Department.

5. Additional requirements may be imposed by the Contra Costa County Fire Protection District. Before proceeding with the project, it is advisable to check with the Fire District located at 2010 Geary Road, Pleasant Hill, 925-930-5500.
6. If the project site is located within an area subject to covenants, conditions, and restrictions (CC&Rs) administered by a homeowners' association (HOA), additional requirements and/or approvals may be required by the HOA. Before proceeding with the project, it is advisable to check with the HOA to ensure any applicable requirements are met.

Attachments:
1. Vicinity Map
2. Site Plan, Architectural Elevations, and Floor Plan prepared and submitted by the applicant, date stamped December 26, 2013

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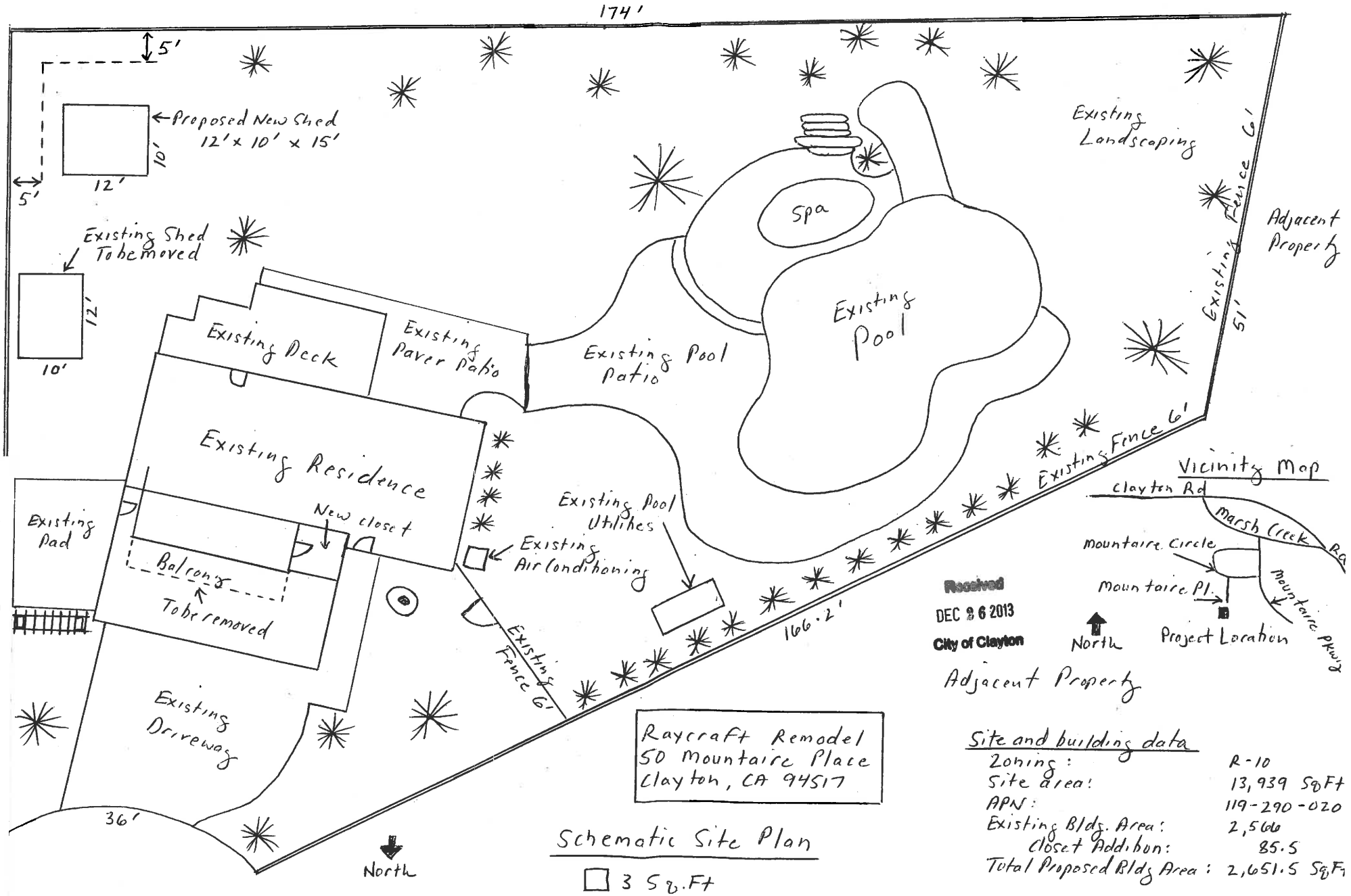
VICINITY MAP

CITY OF CLAYTON	**Raycraft Residence** **SPR-08-13** **Second-Story Addition** **50 Mountaire Place** **APN: 119-290-020**	N (Not to Scale)

ATTACHMENT - 1

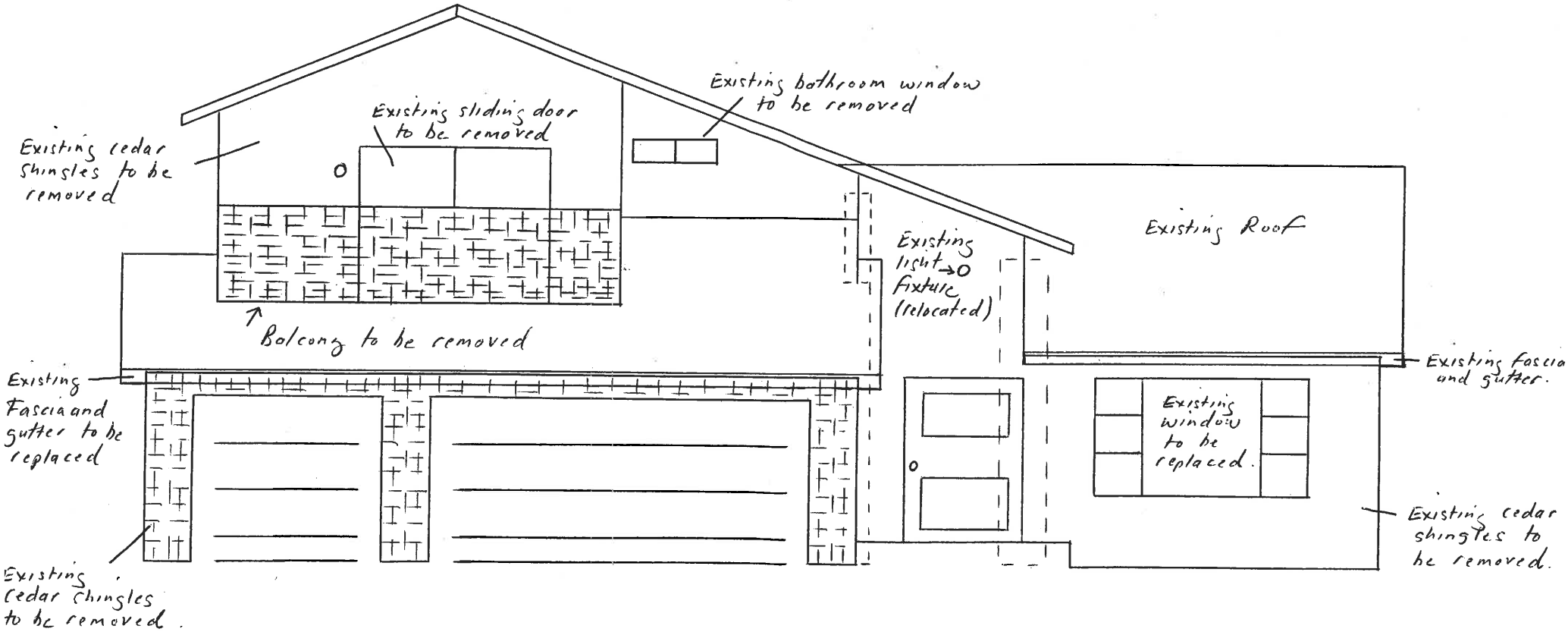


Received
DEC 26 2013
City of Clayton

ATTACHMENT - 2

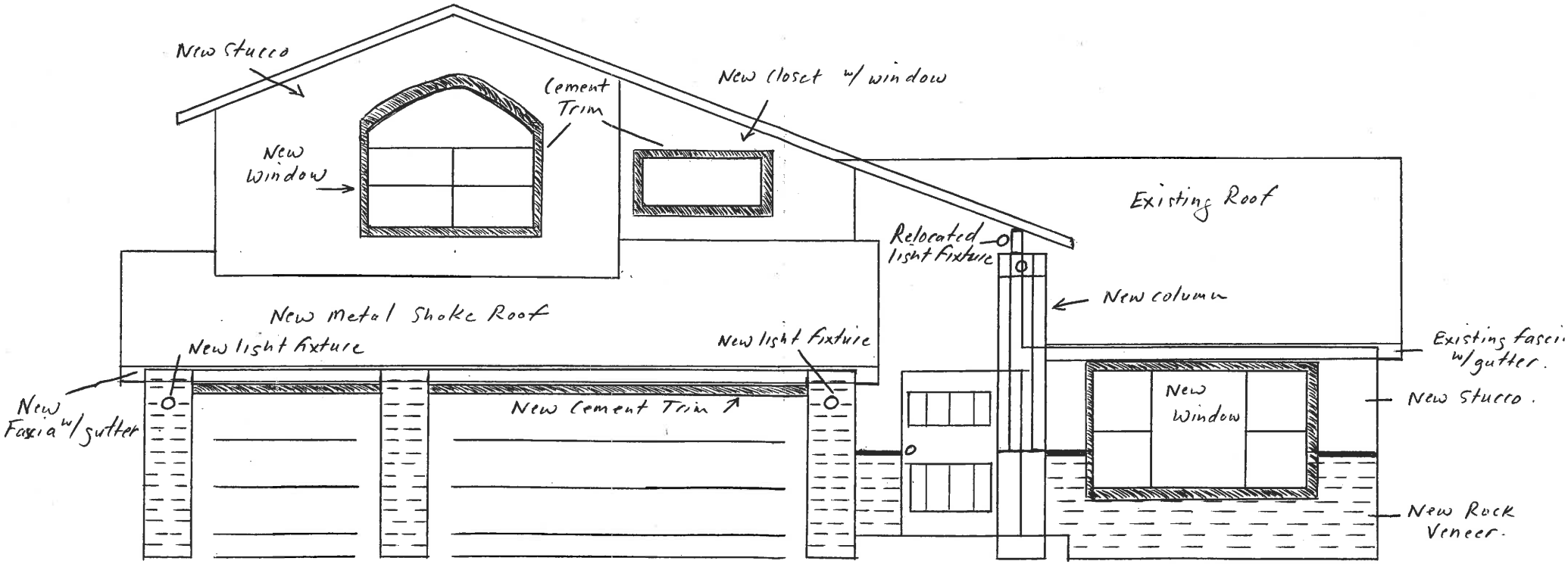
Raycraft Remodel
50 Mountaire Place
Clayton, IA

Existing Elevation
R-10
119-290-020



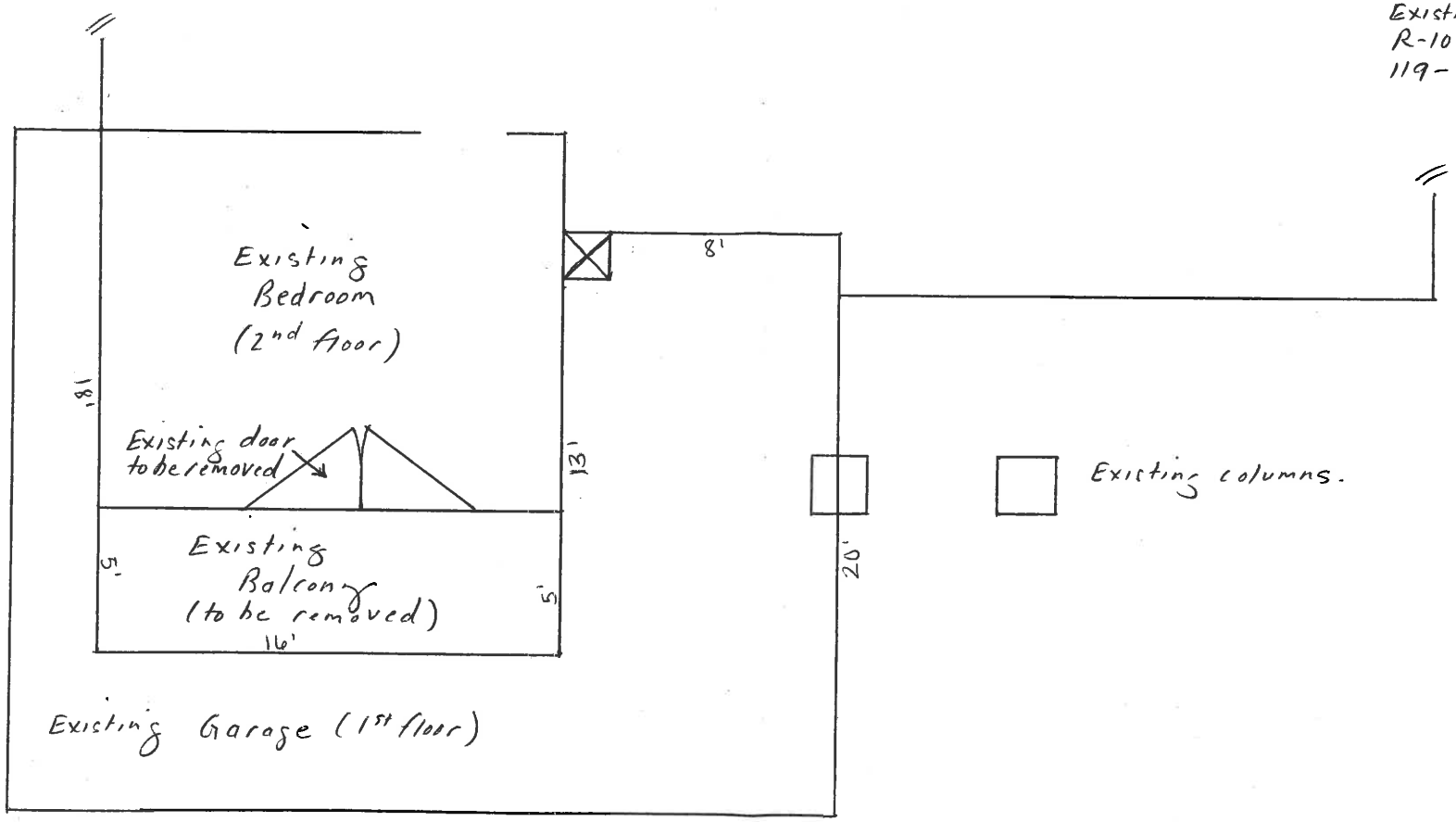
Raycraft Remodel
50 Mountaire Place
Clayton, CA

Proposed Elevation
R-10
119-290-020



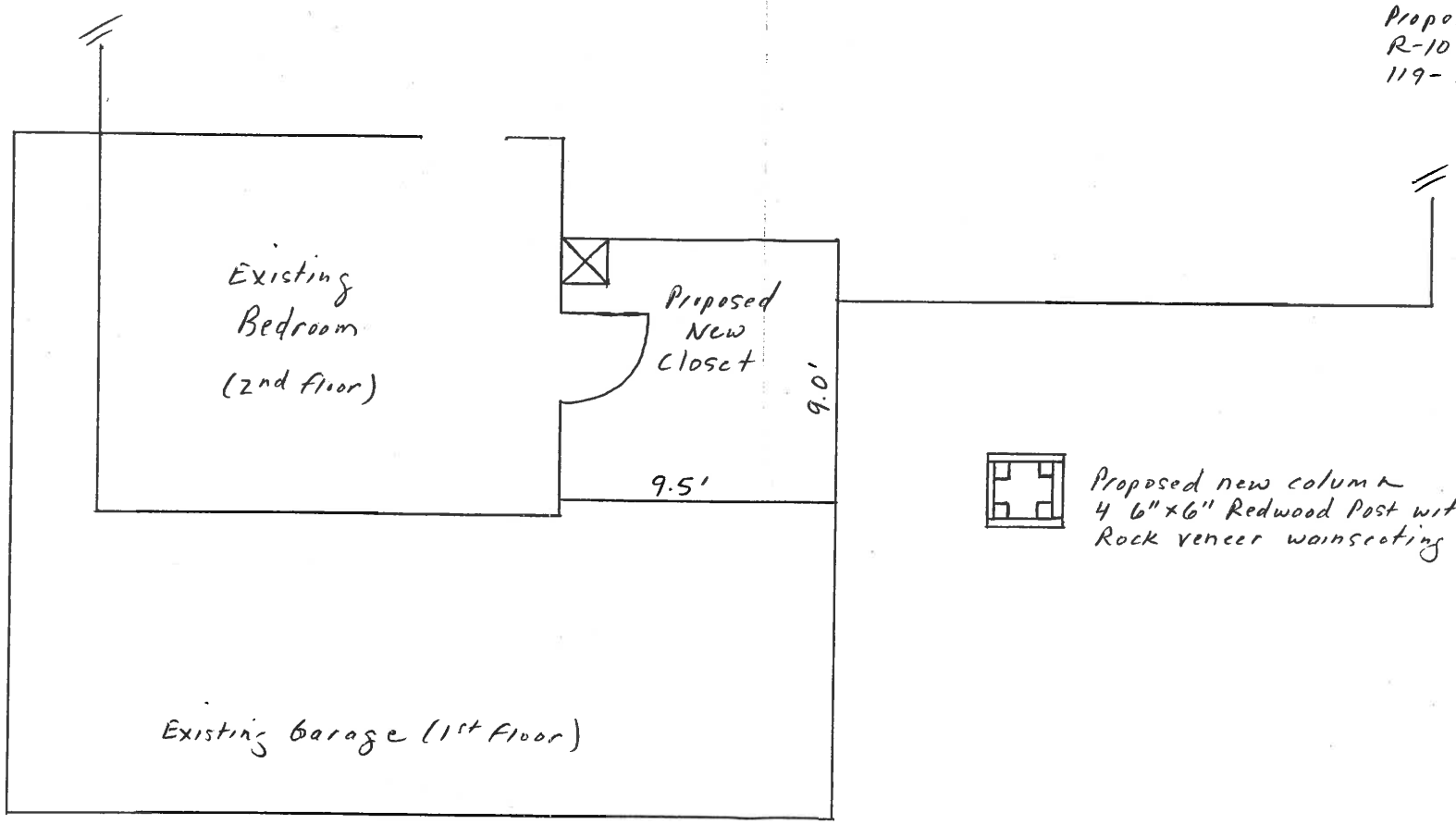
Raycraft Remodel
50 Mountaire Place
Clayton, CA

Existing Floor Plan
R-10
119-290-020



Raycraft Remodel
50 Mountaire Place
Clayton, CA

Proposed Floor Plan
R-10
119-290-020



CITY OF CLAYTON
PLANNING COMMISSION
STAFF REPORT

Meeting Date: **January 14, 2014**

Item Number: **5.b.**

From: **Charlie Mullen**
Community Development Director

Subject: **Public Hearing to Consider a Site Plan Review Permit to remodel the existing Skipolini's Pizza Restaurant and associated exterior improvements, a Use Permit for four (4) bocce ball courts ancillary to the existing restaurant, a Lot Line Adjustment to five (5) existing parcels, and a Variance for the average lot width and lot size of an existing nonconforming lot (SPR-07-13, UP-01-13, LLA-01-13 & VAR-01-13).**

Applicant: **Skipolini's Pizza Restaurant**

REQUEST

A Public Hearing to consider a Site Plan Review Permit to remodel the existing Skipolini's Pizza Restaurant and associated exterior improvements, a Use Permit for four (4) bocce ball courts ancillary to the existing restaurant, a Lot Line Adjustment to five (5) existing parcels, and a Variance for the average lot width and lot size of an existing nonconforming lot.

PROJECT INFORMATION

Location: 1033-1035 Diablo St. and 6026 Main St.
APN's: 119-013-002, 003, 004, 007 & 008

General Plan Designation: Town Center Commercial (TC) under the Clayton Town Center Specific Plan.

Zoning: Limited Commercial (LC).

Environmental Review: Categorically exempt per Sections 15301 & 15303 of the California Environmental Quality Act (CEQA) Guidelines.

Public Notice: On December 27, 2013, a public hearing notice was posted at the notice boards and mailed to property owners within 300 feet of the site, and on January 3, 2014, a public hearing notice was published in the Contra Costa Times.

Authority: The Clayton Municipal Code (CMC) authorizes the Planning Commission to review and act on the Site Plan Review Permit, Use Permit, Lot Line Adjustment and Variance in accordance with Chapters 17.44, 17.60, 16.02 and 17.52 respectively.

BACKGROUND

Nearly 40 years ago Skip Ipsen opened the first of six Skipolini's Pizza Restaurant at this location in the City of Clayton. Since that time Skipolini's Pizza Restaurant has established itself as a prominent restaurant business in Clayton's Town Center. This past summer Skip Ipsen and his son Kent Ipsen approached the City of Clayton with their ideas for remodeling and improving their well-established restaurant in order to update and expand their kitchen facility and improve the overall restaurant productivity and customer dining experience. In addition, the Ipsen family wanted to include a recreational feature that has long been desired in the Clayton community, and thus they incorporated four (4) bocce ball courts as a recreational amenity to be ancillary to the restaurant. The Ipsens have coordinated with the Clayton Business and Community Association (CBCA) to oversee the management and maintenance components of the bocce ball courts.

In order to help facilitate the applicant's desired timeline and construction schedule the Community Development Director recently administratively approved the Skipolini's Pizza Restaurant interior remodel, refrigeration unit addition, and roof equipment consolidation improvement plans. These improvement plans are currently undergoing Building Permit and Environmental Health Permit review by the respective Contra Costa County permitting departments.

PROJECT DESCRIPTION

The applicant, Skipolini's Pizza Restaurant, is requesting approval of a Site Plan Review Permit to remodel the existing Skipolini's Pizza Restaurant and associated exterior improvements, a Use Permit for four (4) bocce ball courts ancillary to the existing restaurant, a Lot Line Adjustment to five (5) existing parcels, and a Variance for the average lot width and lot size of an existing nonconforming lot. The proposed project improvements would include the existing addresses of 1033-1035 Diablo St. and 6026 Main St. on five (5) existing parcels (APN's: 119-013-002, 003, 004, 007 & 008). An applicant project description is attached entitled "Ipsen Bocce Park" to assist with an overall understanding of the project. A description of the project applications and project components is provided below.

Site Plan Review Permit (SPR-07-13)

In association with the Skipolini's Pizza Restaurant interior remodel, refrigeration unit addition, and roof equipment consolidation improvement plans recently administratively approved by the Community Development Director, the applicant is also proposing the following exterior site improvements to the restaurant that are subject to Planning Commission review:

Children's Play Structure

The applicant proposes to remove an existing children's play structure in the restaurant courtyard area and to relocate and place a new children's play structure in the southeast corner of the courtyard area. This new play structure would remove existing exterior restaurant seating and occupy an area of approximately 18' x 16' and be nearly 10' high. Details of the play structure are provided and shown on sheets A-103 and A-301 of the project plans.

Exterior Fireplace/Big Screen TV

In the location of the current children's play structure the applicant proposes to install a new decorative exterior double-sided natural gas fireplace with a big screen TV on each side. The fireplace structure would be approximately 9' wide x 13' high and would be sided with

decorative earth tone colored stones and ledger stones. Details of the fireplace structure are provided and shown on sheets A-103 and A-301 of the project plans.

Courtyard Seating Area Modifications

In the location of the current children's play structure the applicant proposes to add new courtyard seating for the pizza restaurant. This new courtyard area seating area would have an earth tone colored pervious concrete paver to allow for stormwater drainage and filtration. A new accessible ramp and decorative raised landscape planter will be added to the east and south flanks of this new seating area in order to access an existing raised seating area and provide a transition in the grade differential. Details of the courtyard seating area are provided and shown on sheets A-103 and A-301 of the project plans.

Courtyard Canopies and Lighting

In order to enhance the customer dining experience and comfort the applicant proposes to add canopy sail cloth over the exterior courtyard seating areas. The canopies are proposed to be supported by high strength steel airplane cables strung in between 12' high metal poles located on the perimeter of the exterior seating areas. The canopies can be retracted like an accordion on the cables, and may include a summer shade canopy and a winter canopy. Strung between the metal poles are additional cables to allow for decorative accent lighting to be suspended. Photometrics and details of the courtyard canopies and lighting are shown on sheets A-105 and A-301 of the project plans.

Restaurant Seating (Indoor/Outdoor)

The existing Skipolini's Pizza Restaurant currently has 44 indoor seats and 230 outdoor seats for a total of 274 seats. The proposed project improvements would cause Skipolini's to lose 20 existing indoor seats and 82 existing outdoor seats, but will add 78 new and/or reconfigured outdoor seats for a net loss of 24 seats. The existing Canesa's Brooklyn Deli has 4 outdoors seats and proposes to add 8 additional outdoor seats. These modifications would resultant in a total net loss reduction of 16 seats for the project as a whole. Details of the existing and proposed seating are provided and shown on sheets A-001, A-003, A-101, A-102, and A-103 of the project plans.

Bocce Ball Courts and Associated Improvements

The proposed Skipolini's Pizza Restaurant project improvements would add four (4) new outdoor bocce ball courts on the unimproved gravel lots located at the southeast corner of Main and Oak Streets (APN's: 119-013-002 & 007). The applicant indicates that the bocce courts are proposed to be designed to meet Bocce Federation standards for official league play and tournament use. Each bocce ball court would be 14' wide x 91' long and have a decomposed granite surface. In the middle of the bocce courts are proposed to be two (2) decorative trellis structures. The decorative trellises would provide shade, seating, and include accent lighting. The decorative wood trellises are proposed to be 10' wide x 30' long x 10' high. The applicant proposes six (6) decorative light standards to serve as primary nighttime lighting for the bocce ball courts. These light standards are proposed to be 15' in height. The bocce courts would include eight (8) tables (with bench seats) and eight (8) benches to accommodate both league team players and recreational players, along with a limited number of observers.

A decorative entry trellis is proposed on the Main Street frontage and would serve as a focal point and entry feature to the bocce ball courts. This decorative entry trellis would be 5' wide x 14' long x 10' high and include decorative stone base column supports, decorative gates, and a

suspended sign reading "Ipsen Family Bocce Park." A 42-inch high decorative metal fence is proposed to be installed around the perimeter of the bocce court area along Oak and Main Streets and as a separation to the seating area of restaurant. Access gates would also be located at the rear corners of the bocce area and at the restaurant seating area. The bocce courts are also proposed to include decorative accent lights suspended from metal airplane cables strung from and between the perimeter metal poles, light standards, and decorative trellises. The pedestrian walking areas in the bocce court area are proposed to be decomposed granite to allow for pervious surfacing drainage of stormwater. A small 10' x 10' storage shed for the bocce ball equipment is proposed to be located directly adjacent to the existing Skipolini's trash enclosure area. Details of the bocce ball courts and associated improvements are provided and shown on sheets A-001, A-101, A-104, A-105, A-203, A-204, A-302, and L2 of the project plans.

Landscaping

The applicant proposes to add decorative accent landscaping in the courtyard seating area of the restaurant and select perimeter locations of the bocce ball court area. The landscape planting would include groundcover, shrubs and accent trees. The landscape planters would also provide stormwater filtration treatment. Details of the landscaping are provided and shown on sheet L1 of the project plans.

Parking Waiver

As part of the Site Plan Review Permit, the applicant is requesting an ancillary Parking Waiver under the waiver provisions provided for in Chapter 17.37 of the Clayton Municipal Code and the Clayton Town Center Specific Plan. The proposed project does not include any new parking and the applicant is requesting a Parking Waiver for 20 parking spaces to cover the total amount of new additional parking that would otherwise be required to be provided on-site for this project.

Encroachment Permit

As part of the Site Plan Review Permit, the applicant is requesting an ancillary Encroachment Permit to allow the installation of decorative site features associated with the bocce ball courts along the Main Street frontage street right-of-way. The encroaching features would include the decorative entry feature trellis, two (2) tables, decorative fencing, decorative lighting, and landscaping. The subject street right-of-way area is currently not utilized for any public improvements or purposes. The encroachment permit is also needed to remove and replace two (2) existing curb, gutter, and sidewalk sections in order to remove an existing driveway approach on Oak Street and another on Main Street.

Alcoholic Beverage Control Permit

The Skipolini's Pizza Restaurant has applied to the State Department of Alcoholic Beverage Control (ABC) to expand their existing Beer and Wine license to include coverage for the bocce ball courts.

Project Phasing

The applicant has stated in their project description that they may have to phase construction/installation of some of the decorative features they have proposed, pending final construction cost estimates. Some potential design features that could be phased include the decorative canopy lighting at the restaurant and/or bocce courts, the fabric sail cloth at the restaurant, and the patio improvements to the entry at Canesa's Brooklyn Deli.

Use Permit (UP-01-13)
The applicant is requesting a Use Permit for the bocce ball courts to be added as a commercial recreation use ancillary to the existing Skipolini's Pizza Restaurant, under the provisions of the Clayton Town Center Specific Plan.

Lot Line Adjustment (LLA-01-13)
The applicant is requesting to make property lot line adjustments to each of the five (5) existing parcels (APN's: 119-013-002, 003, 004, 007 & 008) in association with and/or to facilitate the proposed project improvements.

Variance (VAR-01-13)
In association with the lot line adjustment request, the applicant is also requesting a Variance to reduce the average lot width and lot size of one existing nonconforming parcel (APN: 119-013-007). The existing parcel has a nonconforming average lot width of approximately 45', where 50' is required, and an existing nonconforming lot size of 4,572 s.f., where 5,000 s.f. is required. The applicant indicates that the proposed lot line adjustment to this parcel is necessary to accommodate the installation of the decorative bocce ball court trellises and would result in the subject parcel having an average lot width of approximately 43' where 50' is required and result in a lot size of 4,378 s.f. where 5,000 s.f. is required.

ANALYSIS
Skipolini's Pizza Restaurant has been a prominent anchor restaurant business in Clayton's Town Center for nearly 40 years and staff is extremely excited and pleased to see the Ipsen family reinvesting in their flagship restaurant and in our community, with their interior restaurant remodeling plans and with the subject proposed project improvements and applications. In general, the proposed project improvements are consistent with and fully supported by the policies, implementation measures, and standards of the Clayton General Plan, Clayton Town Center Specific Plan and Clayton Municipal Code. Furthermore, staff believes this project will help create a high quality aesthetic entry statement to our Town Center and may even serve as a vital economic catalyst to support and generate further economic investment in the Town Center.

Regarding the specifics of each project application component the following analysis is provided:

Site Plan Review Permit (SPR-07-13)
Staff his reviewed the proposed exterior site improvements described above and find them to be consistent with and meet the standards and provisions of the applicable Zoning Codes and in the Clayton Town Center Specific Plan. Staff believes the proposed project improvements, including but not limited to, the children's play structure, exterior fireplace/big screen TV, new court yard seating and improvements, canopy sail clothes, primary and decorative lighting, bocce ball courts, and associated improvements and landscaping, are quality improvements and features that will be enjoyed and appreciated by the restaurant customers and patrons, along with the entire Clayton community. Staff further believes the proposed project improvements will enhance Skipolini's Pizza Restaurant as a focal visitor destination spot in Clayton's Town Center and bring in additional patronage from surrounding communities.

Parking Waiver
Staff has reviewed the proposed Parking Waiver request for 20 parking spaces and finds the request to be appropriate and supported by the waiver provisions provided for in Chapter 17.37

of the Clayton Municipal Code and the Clayton Town Center Specific Plan. The purpose of offering the waiver of required on-site parking is to provide an incentive to develop certain land uses and promote overall development activity in the Town Center area. The adopted parking waiver provisions are intended to encourage and promote retail, restaurant, office and personal service uses. The basis for the recommended changes were born out of the Town Center Parking Study developed in May 2006.

This is the first private development application to request a full Parking Waiver in the Town Center since establishment of these waiver provisions in 2007. Based on the parking waiver provisions, up to 200 parking spaces may be waived for qualifying projects in the Town Center. The granting of this parking waiver request for 20 parking spaces would reduce the future number of available Parking Waivers in the Town Center to 180 parking spaces. The Parking Waivers are considered on a first come first serve basis, and staff fully supports the granting of a Parking Waiver for this Skipolini's Pizza Restaurant improvement project.

Stormwater Control Plan

Due to a delayed submittal of a complete Preliminary Stormwater Control Plan by the project applicant, staff was unable able to review and verify the project stormwater calculations and plan prior to the drafting of this report, as mandated by the C.3 provisions in the Municipal Regional Stormwater Permit. Unfortunately, this is a critical piece of technical information that the City is charged with reviewing and verifying as part of the project entitlement review process.

For this reason staff must, unfortunately, request that the Planning Commission delay taking action on the subject project applications, as the applications are all inter-related and contingent upon the Preliminary Stormwater Control Plan calculations being provided and verified.

The project applicant hopes to submit a complete Preliminary Stormwater Control Plan to the City prior to the January 14, 2014, meeting. If that is accomplished, staff will provide a verbal update to the Planning Commission at the meeting.

Encroachment Permit

The City Engineer and staff have reviewed the Encroachment Permit request and find the request to be appropriate and have determined that the proposed improvements do not conflict with any current or future right-of-way improvement plans or needs along the Main Street or Oak Street frontages.

Alcoholic Beverage Control Permit

The Police Chief and Community Development Director have reviewed and administratively approved the Skipolini's Pizza Restaurant application submitted to the State Department of Alcoholic Beverage Control to expand their existing Beer and Wine license to include coverage for the bocce ball court area.

Use Permit (UP-01-13)

Staff has reviewed the Use Permit request for the bocce ball courts to be added as a commercial recreation use ancillary to the existing Skipolini's Pizza Restaurant, and fully supports the request and finds the request to be consistent with and meet the standards and provisions of the applicable Zoning Codes and the Clayton Town Center Specific Plan. Staff further believes the bocce ball court use to be a compatible and complimentary use to the existing Skipolini's Pizza Restaurant and to the surrounding Town Center businesses and uses.

Lot Line Adjustment (LLA-01-13)
The City Engineer and staff have reviewed the property lot line adjustment application and information submitted to date by the applicant and, with the exception of a complete chain of title being provided, staff is in support of the request. The applicant indicates that their Title Company has been delayed in the production of this information. Unfortunately, the chain of title information is a critical piece of information that the City Engineer is charged with reviewing and verifying as part of the technical review of a Lot Line Adjustment application.

Without a complete chain of title, the City Engineer and staff cannot complete our review and therefore, staff is unable to recommend that a decision on the Lot Line Adjustment be taken by the Planning Commission at this time. For this reason staff must, unfortunately, request that the Planning Commission delay taking action on the subject project applications, as the applications are all inter-related and contingent upon the lot line adjustment request.

The applicant hopes to submit the complete chain of title to the City Engineer prior to the January 14, 2014 meeting. If that is accomplished, staff will provide a verbal update to the Planning Commission at the meeting.

Variance (VAR-01-13)
Staff has reviewed the Variance request to reduce the average lot width and lot size of one existing nonconforming parcel (APN: 119-013-007) associated with the Lot Line Adjustment application, and are in support of the request. Staff believes variance request meets the findings required under Chapter 17.52 of the Zoning Code, particularly because the existing parcel is already a nonconforming lot.

CEQA
Pursuant to California Environmental Quality Act (CEQA) Guidelines Sections 15301 & 15303, the project is categorically exempt from CEQA.

RECOMMENDATION
For the reasons and issues discussed above in the analysis section pertaining to the Stormwater Control Plan and Lot Line Adjustment chain of title, staff recommends that the Planning Commission receive and consider this staff report, receive and consider any public comment and then continue the Public Hearing for this item to the next regularly-scheduled Planning Commission meeting date of January 28, 2014.

However, staff would encourage the Planning Commission to consider providing comments and/or feedback on the project applications, plans, and information at this time. Staff would ask the Planning Commission to retain this report, plans, and information for future use and reference.

It is staff's hope that the current technical information that is still missing will be provided to and verified by staff prior to the January 14th meeting. If that is accomplished, staff will provide a verbal update to the Planning Commission at the meeting. If not, staff will prepare a subsequent summary report for the January 28th meeting. In the subsequent report, staff would anticipate including a Resolution with appropriate findings of approval, conditions of approval, and advisory notes.

ATTACHMENTS

1. Vicinity Map
2. Project Description entitled "Ipsen Bocce Park", date received January 3, 2014
3. Project Plans, date received January 3, 2014

X:\Com Dev\S P R\2013\SPR-07-13 - Skipolinis Exp.-Bocce Ball Ct\SPR-07-13.sr.pc.1.14.14.Skipolini's.Exp.&Bocce.docx

VICINITY MAP

CITY OF CLAYTON	**Skipolini's Pizza Restaurant** **Remodel and Bocce Ball Courts** **SPR-07-13, UP-01-13, LLA-01-13 & VAR-01-13** **1035 Diablo Road** **APN's: 019-013-002, 003, 004, 0007 & 008.**	N (Not to Scale)

ATTACHMENT - 1

Ipsen Bocce Park

Received
JAN 03 2014
City of Clayton

WINTER 2013 DESIGN OPPORTUNITIES DOCUMENT ISSUE TWO

Conceptual design for the park is started in the Spring of 2013

The birth of an idea

Skip and Kent have an idea.

The Ipsen family, whom have been an anchor to downtown Clayton for nearly 40 years, wanted to find a way to give back to the community of Clayton.

After multiple options are considered, the concept of a Bocce Park is born. From the onset it is understood this will be an ambitious and costly undertaking.

The Ipsen's reach out to CBCA almost immediately, in order to garner support for the idea and enlist a partner to assist in the planning, and anticipated maintenance and operations of the endeavor.

Community input. The idea of the Bocce Park is brought to the attention of the City Manager and his staff. Additionally, other community leaders are consulted regarding the concept.

Local expertise sought. To further secure the potential success of the bocce concept; local design and construction expertise was enlisted and added to the conceptual design team.

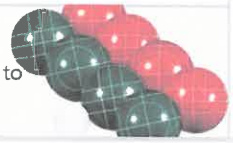
After the team of the Ipsen's, CBCA, community leaders, the architect and contractor are brought on board; work starts immediately to flush out what is possible, what is feasible and how best to achieve the goal of building a park. An ambitious schedule of construction in the winter or early spring of 2014 is set. The schedule is set to coincide with the off season of the Skipolini's restaurant. Community outreach meetings are held to present the design concept and operational opportunities.

> "The exceptional democratic spirit of the game of Bocce is the basis on which its deeply peaceful character is founded. It is often the beginning of lasting friendships."
>
> United States Bocce Federation.

A business and operational model between Skipolini's and CBCA is drafted which leads to the ratification of the bocce concept by an overwhelming majority of CBCA membership.

A community activity that can help to energize downtown Clayton!

League Play
Estimates are that league play could attract 60 to 80 players, 4 nights a week.



ATTACHMENT - 2

Downtown Specific Plan

An underlaying theme behind the design of the park is to have a privately funded, adjunct activity open to all residents of the community. The adjunct activity is key to compliance with the Clayton Downtown Specific Plan. The bocce courts are to be located on land used (and owned) by the same entity that operates the Skipolini's Restaurant. The plan is to have the existing patio extend both visually and functionally to the bocce courts. A primary feature of the new restaurant design will be the relocation and upgrade of the children's play structure. This will allow for a new patio, fireplace and large screen TVs to be added in the area adjacent to the planned park.

Project Statistics

final plans and project submittal figures may vary.

RESTAURANT SEATING	BEFORE	AFTER	DELTA
Indoor Seating	44	24	(20)
Main Street Patio Seating	118	108	(10)
New Fireplace Seating Area	0	78	78
Patio behind Kitchen	42	0	(42)
Rear Patio	70	40	(30)
Canesa's Brooklyn Deli	4	12	8
Summary	278	262	(16)

BOCCE PARK	NOTES	SEATING
8 Team Tables	ADA compliant	8 x 8 = 64
Benches	up to 16	80 people

APN LOT SIZES	USE	BEFORE	AFTER
119-013-007	Bocce West	4,572	4,378
119-013-002	Bocce East	5,000	5,192
119-013-003	Play & Canesa's	5,000	6,402
119-013-004	Skipolini's	5,000	6,010
119-013-008	Vacant	8,550	6,140
		28,122	28,122

the update and replacement of the children's play structure is an integral part of the proposed design solution.

Design Opportunities

Another underlaying goal of this potential remodel is to gain enhanced ADA accessibility to the existing facilities. Over the 40 years of operations several improvements have been made to the restaurant to better serve the needs of mobility challenged customers. This project has the opportunity to further enhance this user experience. Planned are the remodel of the main restaurant bathroom to a fully compliant ADA accessible unisex facility. Additionally, a new ADA bathroom is planned for the southwest corner of the Time Out & Canesa Brooklyn Deli building.

All Courts to be ADA accessible. The current design solution anticipates the grade of the playing court to be similar or identical to the surrounding grade. This will allow for a section of the outer rail and curb of each court to be operable and allow wheel chair access to all four courts.

Lot Line Adjustments. As a part of the planning process we are proposing to do minor lot line adjustments. The adjustments are planned to better represent the actual land use after completion of the proposes work.

Project Scoping Document

The project is proposed to be divided into 2 unique projects based one overall master planning submittal

-007 (Bocce Park)

Civil / Site Work: Relocate of lot line between 007 and 002 to accommodate the planned trellis. Installation of underground utilities including electrical, storm sewer, irrigation systems. Installation of a replacement electrical service. Modifications to city sidewalks for compliance with state and city standards. Creation of an easement on City owned area between lot line and Main Street.

Architectural / Structural: Installation of 4 ADA accessible bocce courts. Courts to be lit for night play. Installation of 2 trellis/shade structures.

Landscape: Installation of hardscape elements such as benches and tables. Soft-scape elements including planting areas.

-003 (Play & Canesa's)

Civil / Site Work: Increase lot size to accommodate the existing patio. Installation of sanitary sewer from new ADA bathroom. Future Patio seating area located at the entry to Canesa's Brooklyn Deli.

Architectural / Structural: Installation of a new ADA conforming unisex bathroom at southwest corner of Play portion of building.

Landscape: Paving treatment between bocce and new ADA bathroom. Planting opportunities at revised restaurant entry.

-004 (Skipolini's)

Civil / Site Work: Expansion of lot to include play structure, delivery driver parking are, and the existing patio. Addition of a self contained walk-in refrigeration unit on the south side of the building. Installation of sanitary sewer from new ADA bathroom. Rework of restaurant floor drains as required by plan modifications and county health department. Modifications to the restaurant main entry to allow for greater accessibility. Removal of a portion of the existing stamped concrete patio to accommodate children's play structure and walk in cooler. Addition of an ADA compliant ramp from dining room outdoor landing.

Architectural / Structural: Remodel of building interior to include exhibition style kitchen, new pizza ovens, installation of an ADA compliant unisex bathroom. Relocation and screening of roof mounted equipment into a new mechanical equipment well area.

Food Service and MPE: Remodel of kitchen and food service equipment. Installation of a new self contained walk-in refrigeration unit. Removal and replacement of roof mounted building refrigeration and swamp cooling equipment.

Landscape: Paving treatment at new patio. Planting opportunities at stepped area between existing building and new patio area.

-008 (Open Lot)

Civil / Site Work: Removal of storage container. Lot line adjustment to accommodate modifications to lot -004. Installation of a pre-manufactured 10'x10' 'Tuff-Shed' storage building for bocce equipment storage.

Architectural / Structural: None

Landscape: Possible tree maintenance or removal based on health and need.

Ipsen Bocce Park and Skipolini's Remodel

Environmental Impact Assessment Questionnaire:

1. LIst and describe any other public approvals required for this project, including those required by city, regional, state or federal agencies.

   Construction permits, Health Permits for Kitchen remodel

2. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of site.

   Current site is a vacant parcel. Previously there was a small building on the site that was damaged due to a fire and later demolished. There is a single significant mature tree on site that will be retained. There are two small bottle brush trees that are also anticipated to be retained. There is no other known plants, animals, cultural, historic or scenic items of significance related to these parcels.

3. Describe the surrounding properties, including information on plants and animals and any cultural historic or scenic aspects. Indicate the type of land uses (i.e., residential, commercial, etc.), description of land use (single-family, apartment houses, shops, department stores, etc.) and scale of development (height, frontage, set-backs, rear yards, etc.) Attach photographs of the vicinity.

   Adjacent parcels are all zoned identical to these parcels. Adjacent usage are commercial in nature. There are no residential uses directly adjacent to any of the parcels proposing to be developed or improved with this project. There is a creek across the street. This use is not anticipated to impact the creek. Directly adjacent is a 2 story commercial building with zero lot lines on both shared property lines.

Ipsen Bocce Park and Skipolini's Remodel

4. Describe the proposed project

Proposed project is a quasi-public bocce park as an adjunct use to an existing restaurant.

5. If the project involves a variance, use permit or rezoning application, state this and indicate clearly why the application is required.

The project does include both a variance and Conditional Use Permit application. The use permit is required within the Town Center Specific Plan since the proposed bocce court use is not clearly addressed in the plan or under municipal code. The variance is for a existing legal non-conforming lot. Applicant requests a variance to adjust the lot line and allow for the construction of two trellis structures. The existing lot is substandard by Municipal Code section 17.24.030 (current size at approx. 4,572 sf). The proposal would reduce the size by approximately 194 sf.

Entitlement Requests by project segment and parcel

APN: 119-013-007 and 119-013-002 Bocce Lots

Conditional Use Permit to allow outdoor recreation use (Bocce Courts) as an ancillary use to an existing restaurant.

Expand the existing ABC license to allow for the sale and consumption of beer and wine by patrons of the Bocce courts.

Lot Line Adjustment as indicated on sheets A-004 and C-107.

Lot size and width Variance to accept lot 119-013-007 as legal non-conforming (less than the minimum 5,000 sf with less than a 50' average width). Existing conditions are a legally non-conforming lot at approximately 4,572 sf with a 50' width. The Variance application is to allow for further reduction in size by approximately an additional 194 sf. Municipal Code section 17.24.030 dictates an average width of 50'. The current varies in width between 45' and 50'. The proposed Lot Line Adjustment would reduce the width by approximately 1'-11" at it's frontage on Main Street. The Town Center Specific Plan encourages frontage of less than 50'. Therefore it is the applicants opinion the lot line adjustment proposed will result in a lots that is substantially conforming to both Municipal Code and the Town Center Specific Plan.

City Owned Parcel as part of the Main Street ROW - Applicant requests an encroachment permit for the parcel of land that resides between the northern lot line and the city sidewalk. Applicant shall landscape, maintain and improve that area in exchange for the being granted the usage rights to the parcel.

Ipsen Bocce Park and Skipolini's Remodel

APN: 119-013-003 Time Out and Canesa's Brooklyn Deli

Site Plan Review to continue current use and modify the front entry patio to the Canesa Brooklyn Deli.

Lot Line Adjustment to expand the rear lot to include the existing patio and provide pedestrian access to the south west corner of the property.

APN: 119-013-002 Skipolini's Restaurant

Site Plan Review to continue the current use modified to include an outdoor fireplace, expanded patio and relocation of the children's play apparatus. Remodel of the existing building to improve the visual impacts of the roof top mechanical equipment and increase the building footprint area to allow for a new walk-in cooler.
Modify the existing ABC license to allow the sale and consumption of beer and wine at the outdoor patio.

APN: 119-013-008 Vacant Lot

Site Plan Review to allow for the placement of a 10'x10' prefabricated storage building. Building to have similar architectural detailing and appearance as existing buildings on the adjacent Restaurant parcel (119-013-004).

Project Phasing Information

The applicant plans to immediately construct the majority of the proposed project. The restaurant addition and walk-in cooler expansion are already completed through construction documents. Building and Health department permit applications have been submitted for the interior work related to those portions of the project. The construction of the outdoor patio, fireplace and Bocce courts are also anticipated to begin immediately. Contingent upon obtaining various agency approvals and land use entitlements the CBCA is planning to offer league Bocce play starting in late spring of 2014. This will be made possible based on an aggressive construction schedule.

Based on construction bidding and budgetary constraints there are elements in the design that the applicant may elect to defer.

Elements of the design that may be phased to a later date include the following design elements:

Decorative Canopy Lights at both the restaurant and bocce courts

Fabric Canopy at the restaurant

Patio and improvements to the entry at the Canesa Brooklyn Deli

Ipsen Bocce Park and Skipolini's Remodel

Alcohol Beverage Control Information

Skipolini's Inc. has filed an application with the California Department of Alcohol Beverage Control (ABC) to extend the boundaries of our premises to incorporate the Bocce Park. This will allow Skipolini's Pizza to provide the patrons of the Bocce Park with the same beer and wine service as they receive in the restaurant. The ABC is waiting for an approved CUP to finalize our request. Customers will still be required to make their purchase at the bar so we can insure that the purchasers are of legal drinking age. Furthermore, we will have to police the bocce courts to make sure all individuals consuming alcohol are of legal drinking age, in the same way we police our patio area.

Initially, we will be allowing bocce league players and individuals of legal age to bring their own food and drink on to the property to consume. We will use signage to inform all park patrons that they are on private property and are subject to all ABC regulations including being required to furnish identification when asked. The original spirit behind this facility was to have it operate as a park and not be tethered the purchase of any goods from Skipolini's; this will remain as the operating procedure unless Skipolini's Inc. and the CBCA are exposed to risk that cannot be controlled. Excessive abuses of ABC regulations on the property may necessitate revisiting the alcohol component of the park. We remain confident that between self-policing by league players along with the Skipolini's staff we will be able to maintain the same family friendly atmosphere that we have at the restaurant. I have provided samples of language to be posted in and around the park.

Sign Permit Application

Under separate application the applicant plans to submit signage plans for the restaurant and bocce courts. Those signs are anticipated to include requirements imposed by the anticipated ABC permit to operate. Additionally, signage for the entry to the park and possible signage for the restaurant are expected to be a part of that forthcoming submittal package.

Bocce Operations Information

The Ipsen Family Bocce Courts has begun negotiations with the Clayton Business and Community Association (CBCA) for the ongoing operations of the Bocce Courts. It is anticipated that the CBCA will be responsible for the day to day operation of league play and park maintenance. The agreement is anticipated to address issues such as emergency contact data, hours of operation, responsibilities for patron conduct. Additionally that agreement is planned to include language to address the distribution of financial responsibilities, insurance and liability concerns.

Received
JAN 03 2014
City of Clayton

ATTACHMENT - 3

CONSULTANTS

REGISTERED ARCHITECT
BRIAN FRANCIS PEARCE
No. 14976
STATE OF CALIFORNIA

Ipsen Bocce Park
and
Skipolini's Remodel
Main and Diablo Streets, Clayton, CA
Joel Ferry

MARK	DATE	DESCRIPTION

PROJECT NO. 2013-03
DATE 12-13
DRAWN BY JB
CHECKED BY BP
COPYRIGHT 2013 VIZ

SHEET TITLE
Cover Sheet

SHEET NO.
A-000

SHEET OF

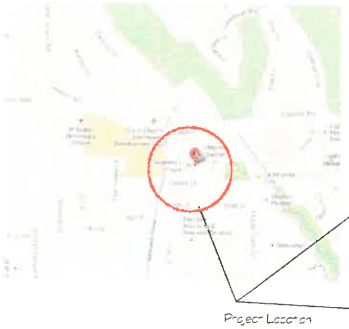
/Volumes/Home/Users/bob/Dropbox/VIZ/Projects/Ipsen/Shared/BIM_files/Entitlement/Archi/CAD/122213_IpsenBlock.pln

LOT COVERAGE CALCULATIONS

APN	Description	[E] Building Area	[P] Building Area	Addition	[E] Lot Area	[P] Lot Area	[E] Landscape Area	[P] Landscape Area	[E] Landscape Coverage	[P] Landscape Coverage	Tree Requirement @ 1/300 sf	[E] Tree Count	[P] Tree Count
119-013-004	Skipolini's Restaurant	1427	1602	175	5000	6010	3173	4038	63.5%	66.7%	13	4	10
119-013-003	Time Out / Canesa's	1330	1304	(26)	5000	6402	3670	5085	73.4%	79.4%	17	2	8
119-013-002	Bocce Bath	0	0	0	5000	5192	0	4586	100%	100%	15	5	3
119-013-007	Bocce Mesh	0	0	0	4572	4378	0	4382	100%	100%	15	3	11
119-013-008	Vacant Lot	0	0	0	8550	6140	n/a	n/a	n/a	n/a	n/a	5	7
				Totals	28,122	28,122					Totals	62	39

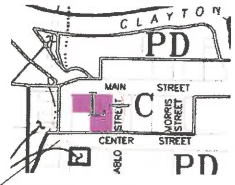
PROJECT OVERVIEW

VICINITY MAP

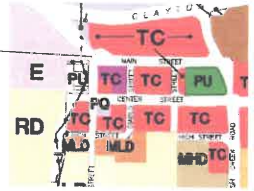


ZONING MAP

Zoning Designation Limits Commercial - within the Town Center Specific Plan area



GENERAL PLAN MAP



IMPERVIOUS SURFACE CALCS

The following calculations are used to comply with 12/1/12 Addendum to provision C.3.i. in the Municipal Regional Stormwater Permit issued by the California Regional Water Quality Control Boards for the San Francisco Bay Region and Central Valley Region.

Restaurant Remodel:

Project Site Area:	9,312 sf
Total New Impervious Surface Area:	436 sf
Total New Pervious Surface Area:	2,240 sf
Total Replaced Impervious Surface Area:	2,025 sf
Total Removed Impervious Surface Area:	897 sf
Total Pre-Project Impervious Surface Area:	4,273 sf
Total Post-Project Impervious Surface Area:	3,376 sf
Total Planter Area:	258 sf
Planter Area Required for new 436 sf impervious:	218 sf
Runoff Reduction Measures Used:	Disperse runoff to vegetated area Roof drains to vegetated area

Time Out/Canesa Brooklyn Deli Building:

Project Site Area:	2,546 sf
Total New Impervious Surface Area:	224 sf
Total Replaced Impervious Surface Area:	0 sf
Total Pre-Project Impervious Surface Area:	161 sf
Total Post-Project Impervious Surface Area:	161 sf
Runoff Reduction Measures Used:	Disperse runoff to vegetated area Roof Drains to Planters

Bocce Courts:

Project Site Area:	9,418 sf
Total New Impervious Surface Area:	curbs @ 416 sf
Total Replaced Impervious Surface Area:	0 sf
Total Pre-Project Impervious Surface Area:	0 sf
Total Post-Project Impervious Surface Area:	416 sf
Total Planter Area:	270 sf
Planter Area Required for 416 sf impervious:	208 sf
Runoff Reduction Measures Used:	runoff to adjacent pervious area

RESTAURANT SEATING

Existing Tables	Count	Proposed Tables	Count	Delta
Indoor Seating				
Main Dining Rm				
6 @ 4 seats	24	6 @ 4 seats	24	
Rear Dining Rm				
5 @ 4 seats	20	remove	0	
Sub Total	44		24	(20)
Main Street Patio				
3 @ 10 seats	30	2 @ 10 seats	20	
10 @ 8 seats	80	10 @ 8 seats	80	
2 @ 4 seats	8	2 @ 4 seats	8	
Sub Total	118		108	(10)
New Fireplace Patio				
		4 rows @ 14 seats	56	
		1 row @ 10 seats	10	
		1 row @ 12 seats	12	
Sub Total	0		78	78
Existing Patio behind kitchen				
4 @ 4 seats	16	remove	0	
1 @ 26 seats	26	remove	0	
Sub Total	42		0	(42)
Existing Rear Patio				
7 rows @ 10 seats	70	5 rows @ 8 seats	40	
Sub Total	70		40	(30)
Canesa's Brooklyn Deli (future patio)				
Entry Patio	12	remove	0	
		3 tables @ 4 seats	12	
Sub Total	4		12	8
Grand Total Seating	278		262	(16)

SHEET INDEX

Architectural

Overview Documents
- A-000 Entry Rendering - Cover Sheet
- A-001 Title, Contents and Project Data
- A-002 Existing Conditions w/ Existing Seating Count and Trees
- A-003 Existing Conditions Photos
- A-004 Lot Line Adjustment overview
- A-005 On Street Parking within 300' radius

Plans
- A-101 Project Site Plan
- A-102 Restaurant Existing Conditions and Demolition Plan
- A-103 Restaurant Remodel
- A-104 Bocce Park Plan
- A-105 Project Lighting Plans and Fixtures

Elevations
- A-201 Existing Conditions Elevations
- A-202 Skipolini's Elevations
- A-203 Bocce Park Elevations

Finishes
- A-301 Restaurant Finishes, Colors and Materials
- A-302 Bocce Finishes, Colors and Materials

Landscape
- L-1 Preliminary Landscape Plan
- L-2 Bocce Entry Monument

Civil

Bocce Grading and Drainage Plans
- C-101 Preliminary Grading and Drainage Bocce
- C-102 Preliminary Grading and Drainage Bocce
- C-103 Erosion Control Plan Bocce

Restaurant Grading and Drainage Plans
- C-201 Preliminary Grading and Drainage Restaurant
- C-202 Preliminary Grading and Drainage Restaurant
- C-203 Erosion Control Plan Restaurant

Lot Line Adjustment Plans
- C-301 Lot Line Adjustment Plan (119-013-003, 004 & 008)
- C-302 Lot Line Adjustment Plan (119-013-007 & 002)

PROJECT DATA

Project Name: Ipsen Bocce Park and Skipolini's Pizza Remodel

Submitted By: Lester Ipsen

Site Address:

Ipsen Bocce Park:	6000 Main Street Clayton, CA 94517
Skipolini's:	1033 and 1035 Diablo Blvd. Clayton, CA 94517
Skipolini's Time Out:	6024 Main Street Clayton, CA 94517
Canesa's Deli:	6025 Main Street Clayton, CA 94517

Property Owner: Lester Ipsen
PO Box 734
Clayton, CA 94517

Assessors Parcel Numbers:

Ipsen Bocce Park:	119-013-002
	119-013-007
Skipolini's:	119-013-004
Skipolini's Time Out:	119-013-003
Canesa's Deli	119-013-003
Vacant Lot:	119-013-008

Parcel Sizes:

APN	Current	Proposed
119-013-002	5,000 sf	5,192 sf
119-013-003	5,000 sf	6,402 sf
119-013-004	5,000 sf	6,010 sf
119-013-007	4,572 sf	4,378 sf
119-013-008	8,550 sf	6,140 sf
Total	28,122 sf	28,122 sf

PROJECT TEAM

OWNER	Lester Ipsen	E: skipoizza@comcast.net P: 925.672.1311
REST. OPERATOR	Skipolini's, Inc. 1535 Glenmoore Dr Walnut Creek, CA 91596	Kent Ipsen E: kent@skipolinis.net T: 925.280.1100
DESIGN ARCHITECT	VIZ/fx PO Box 974 Clayton, CA 94517	Robert A. Staehle E: bob@draftingboard.com T: 925.672.8600 LIC. C-14976
ARCHITECT OF RECORD	DNM Architect 1A Gate 5 Road Sausalito, CA 94965	David Mallatt, AIA E: david@dnm-architect.com T: 415.348.8910 LIC: C-27909
CONTRACTOR	Terra Nova Industries 1607 Tice Valley Blvd Walnut Creek, CA 91596	Bob Dugan E: T: 925.934.6133 Lic.
CIVIL ENGINEER	DeBolt Civil Engineering 811 San Ramon Valley Boulevard Danville, CA 94526	Jim Diggins E: debolteiv@earthlink.net T: 925.837.3780 Lic.RCE 27818
LANDSCAPE ARCHITECT	David Gates & Assoc. 2670 Crow Canyon Road San Ramon, CA 94583	David Gates E: T: 925.736.8176 LIC:

PARKING REQUIREMENTS

Restaurant Remodel:

Reduction in seating and no increase in occupancy load. No additional parking required per 17.37.020 paragraph 2 (Less than 10% increase) Town Center Specific Plan - Restaurant Seating @ .25 spaces / seat or 7.5 per 1,000 sf. = 62 cars total or 4,795 sf dining = 36 spaces required.

Net loss of 16 seats per Restaurant Seating calculations on this sheet.

Parking Reduction requested per Schedule 17.37.030D Parcel Area of < 10,000 allows for a 100% reduction in required parking.

Bocce Courts:

As no specific parking requirements are outline in Municipal Code or the Downtown Specific Plan for the proposed use the applicant requests a Community Development Director Determination (17.37.020 Section E) with Commission approval as calculated below:

Anticipated fully loaded Bocce usage @ 10 players per team; 8 possible teams playing concurrently = 80 player. One vehicle per 4 players = 20 vehicles. Typically bocce is a non-spectator sport. As such there is little or no anticipation of added parking load for non-players of the game.

Parking Reduction per Schedule 17.37.030D Parcel Area of < 10,000 allows for a 100% reduction in required parking.

Based on the above assumptions Bicycle Requirement @ 1 plus 10% of estimated vehicles = 1 + 2 = 3 bicycles

Town Center On-Street Parking Calculations to support requested reductions.

On Street parking provided within 300' of Restaurant Entry: 8 HC plus 128 spaces (see sheet A-005)

viz/fx
P.O. Box 974
Clayton, CA 94517

CONSULTANTS

REGISTERED ARCHITECT ROBERT A. STAEHLE No. 14976 STATE OF CALIFORNIA

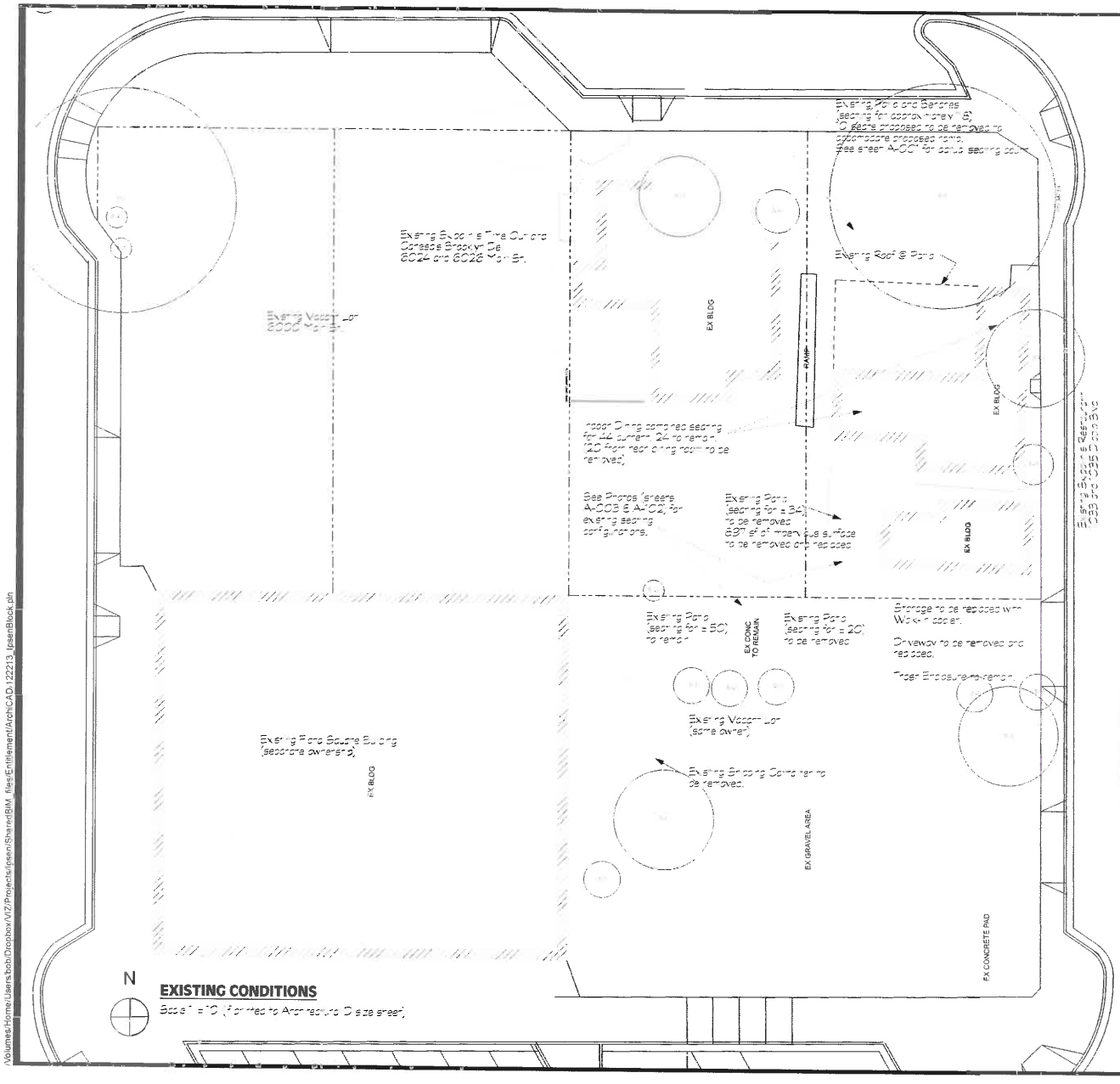
Ipsen Bocce Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA

The Contents and Project Data

A-001

/Volumes/Home/Users/bob/Dropbox/VIZ/Projects/Ipsen/Shared/BIM_files/Entitlement/ArchCAD/122213_IpsenBlock.pln



EXISTING CONDITIONS

Scale 1" = 10' (Formatted to Architectural D size sheet)

E-1 through 4

E-5 through 8

E-9 through 12

E-13 through 17

EXISTING TREES

ID	Common Name	Genus Name	Trunk Diameter	Disposition
E-1	Crepe Myrtle	Lagerstroemia	5"	To Remain
E-2	Crepe Myrtle	Lagerstroemia	4"	To Remain
E-3	Crepe Myrtle	Lagerstroemia	5"	To Remain
E-4	Crepe Myrtle	Lagerstroemia	4"	To Remain
E-5	Crepe Myrtle	Lagerstroemia	4"	To Remain
E-6	California Incense cedar	Calocedrus Decurrens	21"	To Remain
E-7	Mexican Fan Palm	Washingtonia robusta	15"	To Remain
E-8	Redwood	Sequoia sempervirens	20"	To Remain
E-9	Mediterranean Cypress	Cupressus sempervirens	14"	To Remain
E-10	Kanee	Pinus canariensis	13"	To Remain
E-11	Redwood		34"	To Remain
E-12	Stone Fruit	Prunus	3"	To Remain
E-13	Liquid Amber	Liquidambar styraciflua	13"	To Remain
E-14	Japanese Maple	Acer palmatum	2"	To Remain
E-15	Locusts Tree	Robinia x ambigua	27"	To Remain
E-16	Bottle Brush	Callistemon	2"	To Remain
E-17	Bottle Brush	Callistemon	4"	To Remain

Viz-f/x
50 Ensign St.
Cayce CA 94530

CONSULTANTS

REGISTERED ARCHITECT
RUBEN A. ZARGOZA
No. 14976
STATE OF CALIFORNIA

Ipsen Bocce Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA
Contra Costa County

Mark	Date	Description

PROJECT NO. 1-2022
PROJECT DATE
DRAWN BY
CHECKED BY
DATE 2/23/2023

Existing Conditions w/ Existing Seating Count and Trees

A-002

SHEET 3 OF

/Volumes/Home/Users/bob/Dropbox/WZ/Projects/Ipsen/Shared/BIM_files/Entitlement/ArchCAD/122213_IpsenBlock.pln

Coresse Brooklyn Deli West Elevation

Existing play structure and Time Out South Elevation - Location of proposed pervious patio and fireplace.

Time Out and Coresse Brooklyn Deli North Elevation

Skipolini's Rear Patio (on view to adjacent image)

Main Street Patio
seating for a 118 (on view to adjacent image)

Skipolini's West Elevation - Roof top equipment to be removed behind proposed Mechanical Screen

Skipolini's Rear Patio
seating for a 84 (6 seats to be removed)

Skipolini's Rear Patio
seating for a 70 - 2 sets of tables (20 seats) @ east end of patio to be replaced by proposed play structure. Reduce density from 80 to 40 seats at extreme end of patio.

Main Street Patio Skipolini's Restaurant
seating for a 118 (one table (10 seats) to be removed to accommodate new ramp)

Diablo Street Elevation Skipolini's Restaurant
Existing hedge at Patio to remain. Overhang at Entry to remain. Two conifer trees to No. to remain.

Main Street Elevation Skipolini's Restaurant

South Elevation Skipolini's Restaurant
Existing hedge to remain. Roof top equipment to be relocated behind proposed Mechanical Screen.

Vizf/x
P.O. Box 974
Clayton, CA 94517

CONSULTANTS

REGISTERED ARCHITECT
ROBERT K. STRICKLE
No. 14976
STATE OF CALIFORNIA

Ipsen Bocce Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA

MARK	DATE	DESCRIPTION

PROJECT NO. 2108
SCALE: 1/8"
DRAWN BY: TJB
CHKD BY: TJB
DATE: 2/23/21

SHEET TITLE
Existing Conditions Photos

A-003

SHEET 4 OF

/Volumes/Home/Users/bob/Dropbox/VIZ/Projects/Ipsen/Shared/BIM_files/EntElement/ArchiCAD/122213_IpsenBlock.pln

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N

LOT LINES EXISTING AND PROPOSED

SCALE: 1" = 0' (Format to Architectural size sheet)

A-004

Lot Line Adjustments overview

Ipsen Bocce Park and Skipolini's Remodel

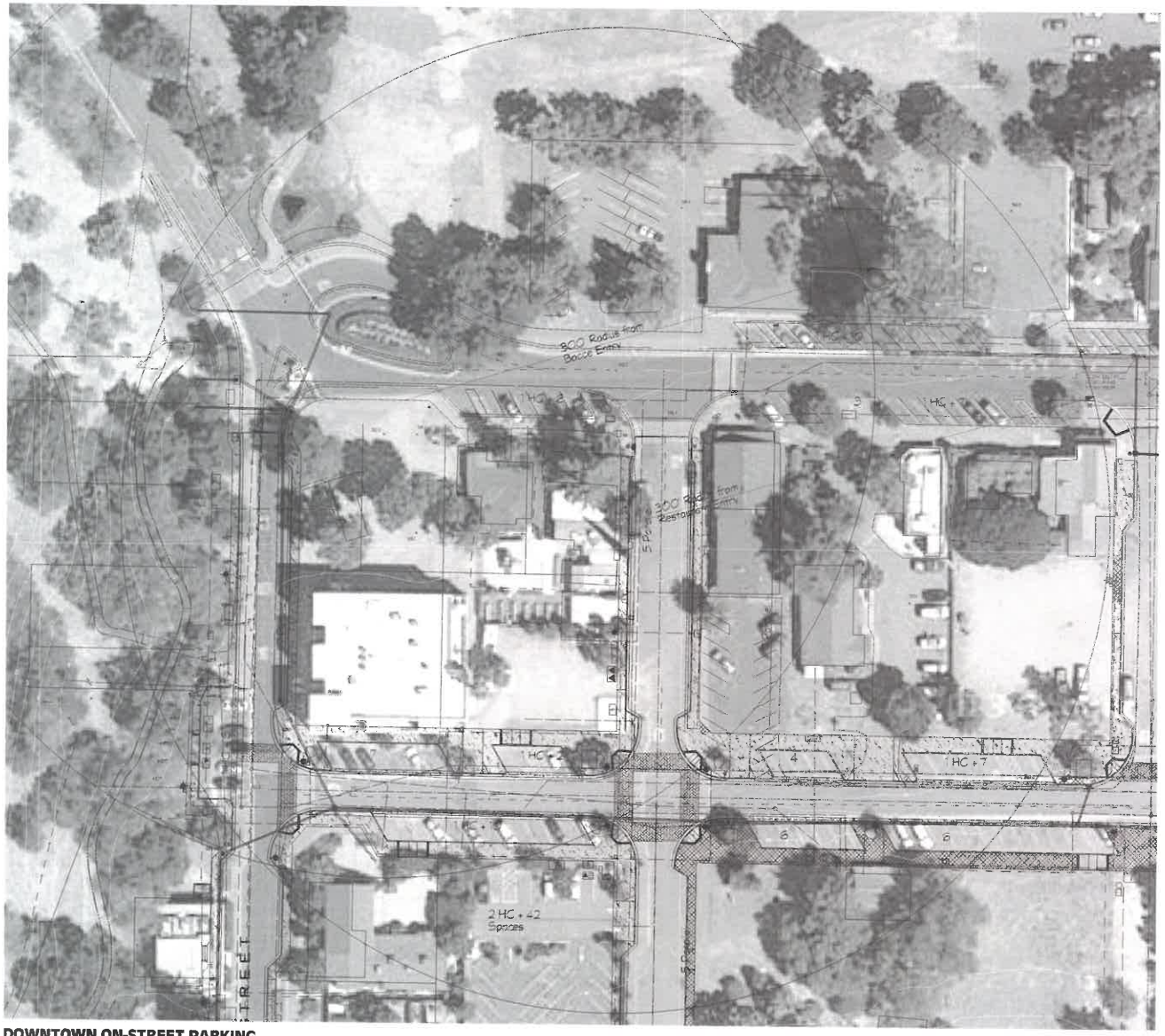
Main and Diablo Streets, Clayton, CA

REGISTERED ARCHITECT ROBERT A. STAPLE No. 14976 STATE OF CALIFORNIA

CONSULTANTS

Viz f/x

PO Box 97
Corte CA 9457



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DOWNTOWN ON-STREET PARKING

Scale: 1" = 30' (Formatted to Architectural D size sheet)

ON STREET PARKING COUNT

Street	Location	HC	Standard
Main Street	6024-6026 Time Out	1	6
	6056 Church	1	10
	6064 Cup o Joe		3
	6078 TLC Grooming	1	7
Diablo Street	1033-1035 Skipolini's		5
	Royal Rooster		7
	Town Center		5
Center Street	Endeavor Hall	2	9
	Subway		7
	119-012-008	1	2
	6070 DPR		12
Oak Street	Mt. Diablo School	1	6
	Parallel		7
City Lot	Diablo @ Center St.	2	42
	Totals	9	125

ADJACENT BUS. CLOSING TIMES

Business Name	Closing Time
Cup o Joe	5:00 PM
Subway Sandwiches	9:00 PM
Royal Rooster	7:00 PM
Cutting Edge	6:30 PM
Levity Training	8:00 PM
TLC Grooming	5:00 PM
Clayton Community Church	varies
Clayton Club	2:00 AM
Esthetics on Main	by Appt.
Frontier Salon	6:00 PM
Most Offices in Flora Square	5:00 PM
Mt. Diablo Elementary School	3:10 PM

PROPOSED HOURS OF OPERATION

Use	Days	Opening	Closing (currently)	Proposed	Max Employees
Skipolini's Restaurant	7 Days	4:00 PM	≈ 11:00 PM	≈11:30 PM	17
Time Out	same as Skipolini's				6
Caresa's Brooklyn Deli	M-Sat	10:00 AM	7:00 PM	5:00 PM	4
summer league play	Sun-Thur	10:00 AM		8:00 PM	
summer league play	Fri-Sat	10:00 AM		10:00 PM	
Bocce Courts	Sun-Thursday	3:00 PM	n/a	≈11:00 PM	1
	Friday-Sat	3:00 PM	n/a	Midnight	

Administrative Conclusions:

Based on the hours of operation of the majority of surrounding businesses, it seems there is adequate on-street parking to accommodate the proposed Bocce usage.

Possible Circumstances resulting in compromised number of parking spaces:

Annual street closures for the Art and Wine, 4th of July, Concert in the Park and other events.

Potential parking conflicts might arise if an event were to be scheduled to coincide with a special event at the Community Church.

Based on the overall size of restaurant seating for the Skipolini's Restaurant compared with the Caresa's Brooklyn Deli, no added parking should be added for the restaurant use.

Viz f/x
50 Box St.
Clayton, CA 94517

CONSULTANTS

REGISTERED ARCHITECT
No. 14976
STATE OF CALIFORNIA

Ipsen Bocce Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA

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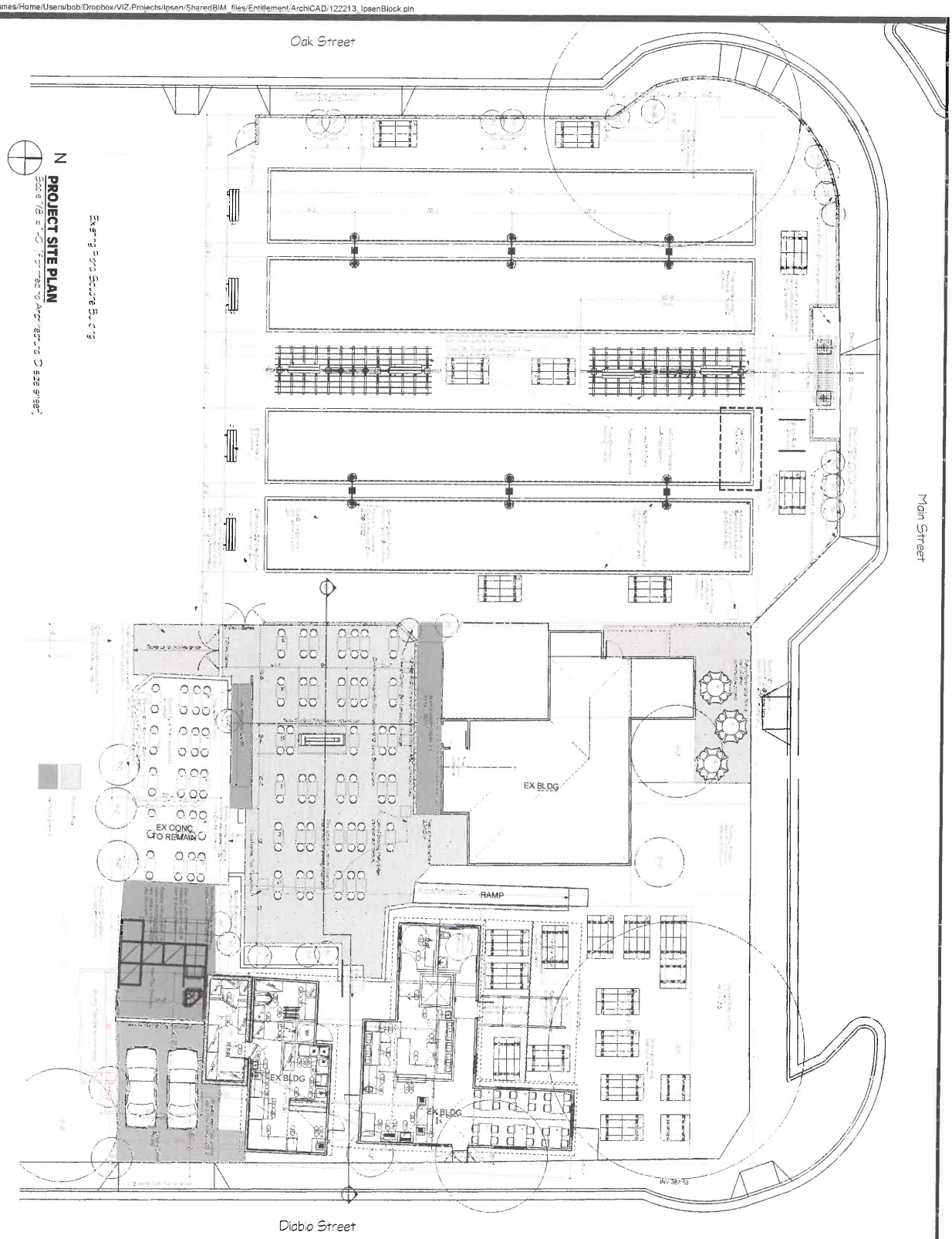


Project Site Plan

A-101

Ipsen Bocce Park
and
Skipolini's Remodel

Main and Diablo Streets, Clayton, CA

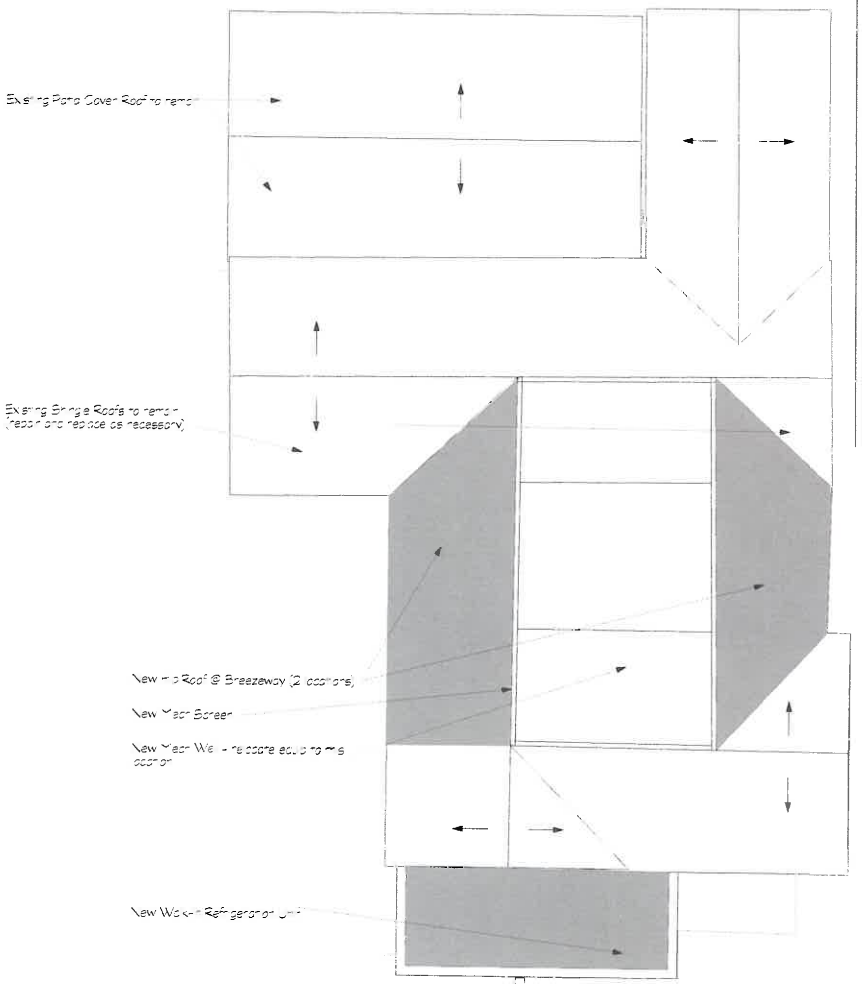
REGISTERED ARCHITECT
ROBERT A. STAPLES
No. 14976
STATE OF CALIFORNIA

CONSULTANTS

Viz f/x
PO Box 974
Clayton CA 94517

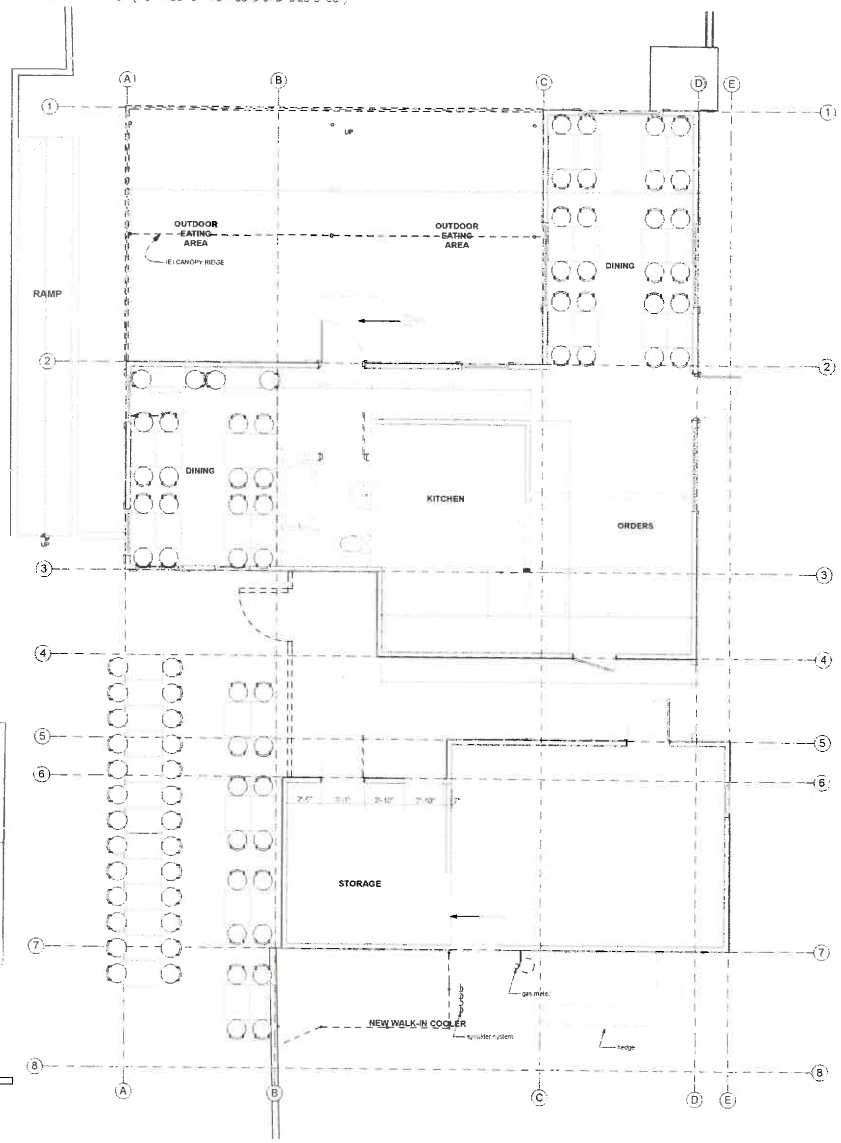
RESTAURANT PROPOSED ROOF PLAN

Scale 1/4" = 1'-0" (if printed to Architectural D size sheet)



EXISTING CONDITIONS AND DEMOLITION PLAN

Scale 1/4" = 1'-0" (if printed to Architectural D size sheet)



Viz-f/x
P.O. Box 972
Clayton, CA 94517

CONSULTANTS

REGISTERED ARCHITECT
ROBERT K. ZIGLER
No. 14976
STATE OF CALIFORNIA

Ipsen Bocce Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA
APN 119-010-[illegible]

MARK	DATE	DESCRIPTION

PROJECT NO. 2206.2
DRAWN BY [illegible]
CHKD BY [illegible]
DATE 10.31.2022

SHEET TITLE
Restaurant Existing Conditions, Demo Plan and Proposed Roof Plan

A-102

SHEET 8 OF

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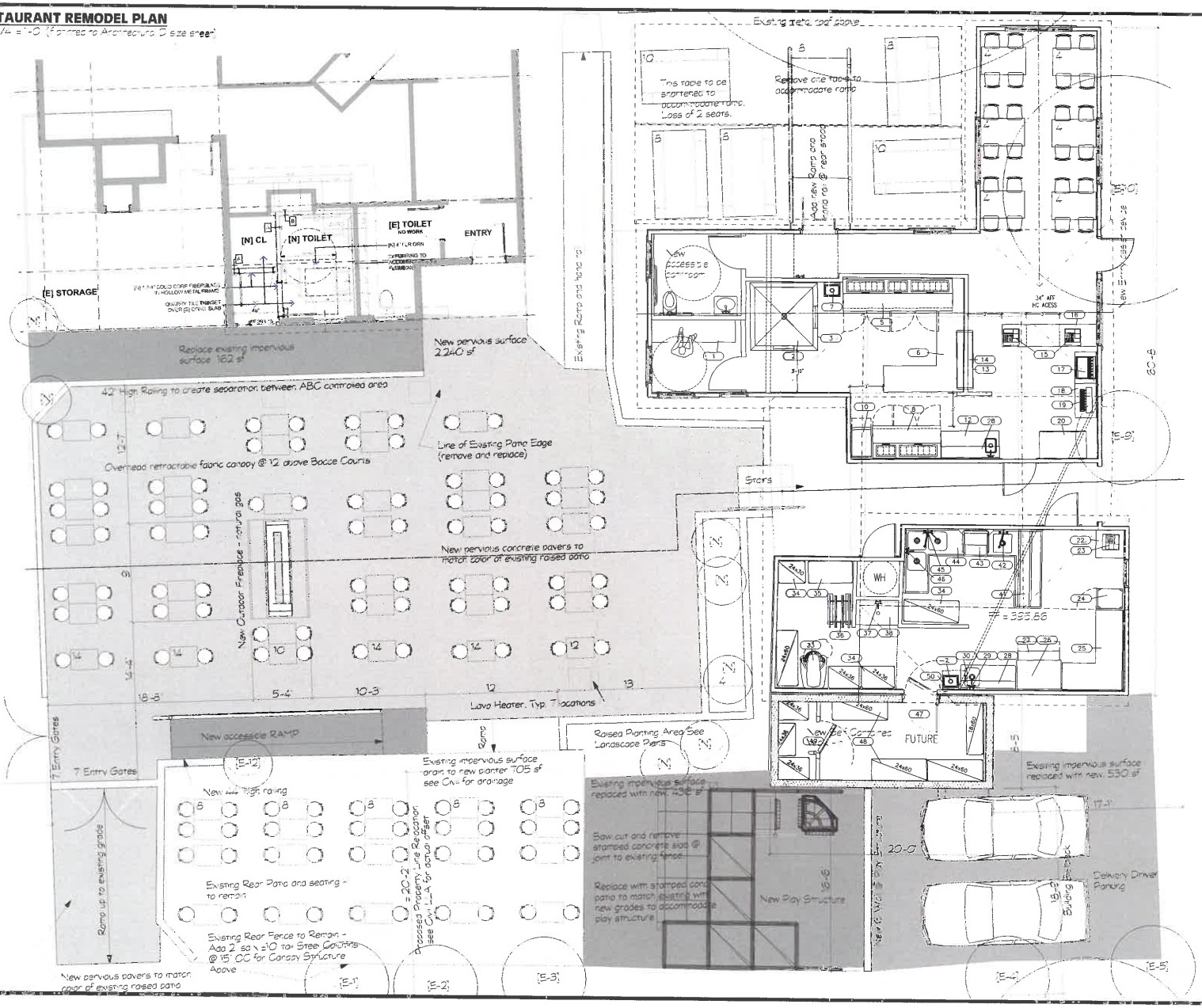
RESTAURANT REMODEL PLAN

Scale 1/4 = 1'-0" (Formatted to Architectural D size sheet)



CONSULTANTS

REGISTERED ARCHITECT STEPHEN R. FARRIS No. 14976 STATE OF CALIFORNIA

Ipsen Bocce Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA

Restaurant Remodel

A-103

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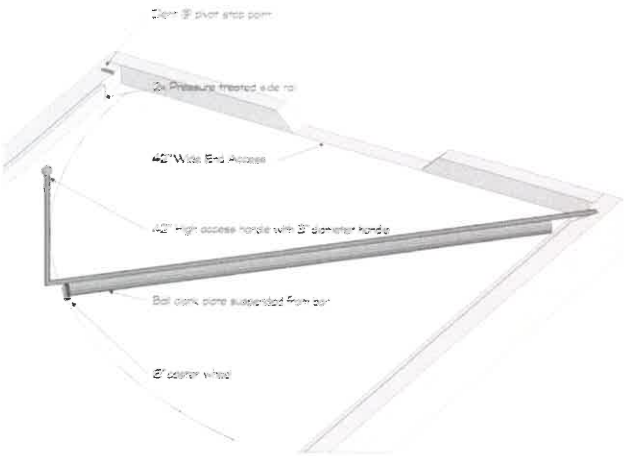
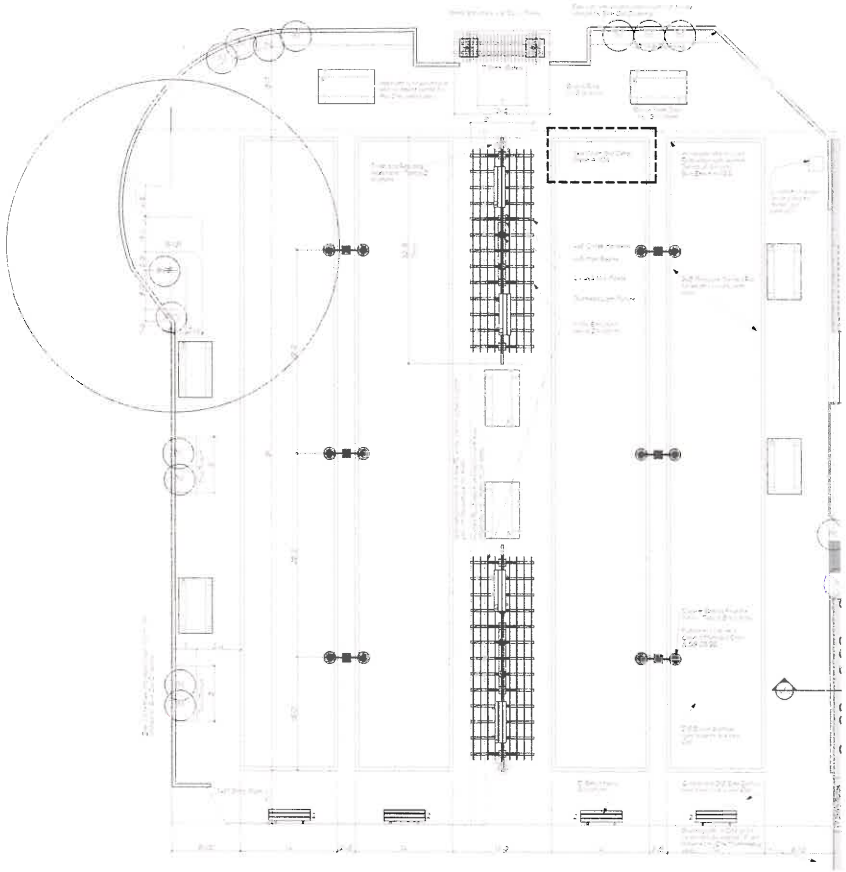
TYPICAL END OF COURT ACCESSIBLE ACCESS (NORTH END ALL COURTS)



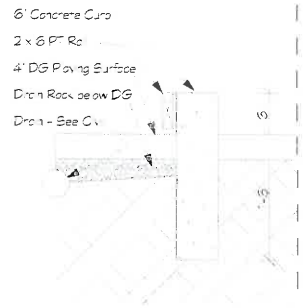
BOCCE LOT PLAN

Scale 1/8 = 1'-0" (if printed to Architectural D size sheet)



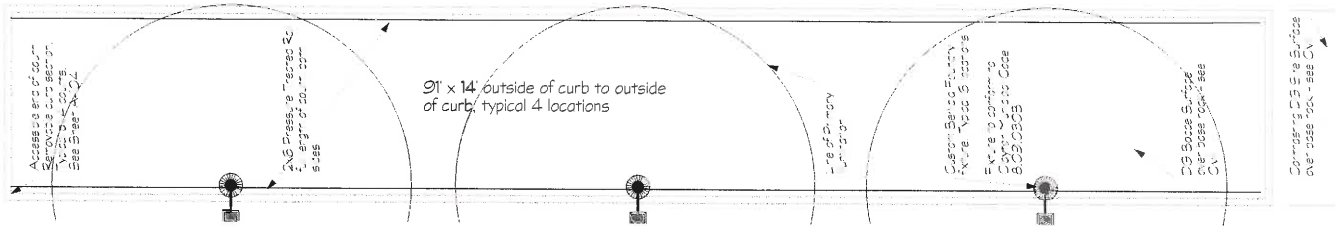
CURB @ BOCCE COURTS

Scale 1-1/2 = 1'-0" (if printed to Architectural D size sheet)



BOCCE TYPICAL COURT

Scale 1/4 = 1'-0" (if printed to Architectural D size sheet)



Vir f/x
PO Box 874
Clayton, CA 94517

CONSULTANTS

REGISTERED ARCHITECT
ROBERT K. STAPRE
No. 14976
STATE OF CALIFORNIA

Ipsen Bocce Park
and
Skipolini's Remodel
Main and Diablo Streets, Clayton, CA
APN: 119-171-

Bocce Plan

A-104

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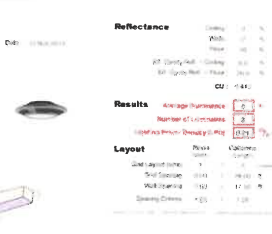
CANOPY LIGHTING

Price: $34.95

BOCCE SINGLE COURT PHOTOMETRICS



BOCCE COURT LIGHTING (12 instances)

PLED78Y

LED Wall pack with precision optics that will provide a clear and uniform distribution. Ideal for retail settings, walkways, parking and other applications requiring a high output commercial grade downlight.

LED Info

Watts	78W
Color Temp	3000K (Warm)
Color Accuracy	75
Life (Hours)	100000
LM79 Lumens	7,681
Efficacy	98 LPW

Driver Info

Type	Constant Current
120V	0.71A
208V	0.41A
240V	0.36A
277V	0.31A
Input Watts	85W
Efficiency	91%

Technical Specifications

UL Listing:
Suitable for wet locations.

Lumen Maintenance:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

LEDs:
6x10W high-output, long-life LEDs.

Drivers:
5x20W Driver, Constant Current, Class 2, 100V-277V, 50/60 Hz, 6kv Surge Protection, 720mA, 100-277VAC 0.4 Amps., Power Factor 98.5%.

THD:
12.6% at 120V

Input Watts:
80.

Output Lumens:
3,681

Fixture Efficacy:
41 Lumens per Watt

Color Accuracy (CRI):
85 CRI

Correlated Color Temp. (Nominal CCT):
3000K

Housing:
Precision die-cast aluminum housing and lens frame.

Lens:
Clear tempered glass lens

Gaskets:
High-temperature silicone.

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals

Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent future-to-future color.

Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period

Color Uniformity:
NASPI range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011.

BOCCE TRELLIS LIGHTING (12 instances)

CLED52Y

LED wall pack with precision optics that will provide a clear and uniform distribution. Ideal for retail settings, walkways, parking and other applications requiring a high output commercial grade downlight.

LED Info

Watts	52W
Color Temp	3000K (Warm)
Color Accuracy	85
Life (Hours)	100000
LM79 Lumens	4,498
Efficacy	86 LPW

Driver Info

Type	Constant Current
120V	0.43A
208V	0.25A
240V	0.22A
277V	0.19A
Input Watts	57W
Efficiency	88%

Technical Specifications

UL Listing:
Suitable for Wet Locations. Covered Ceiling Mount Only.

Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

LEDs:
4x13W high-output, long-life LEDs.

Drivers:
3x20W Driver, Constant Current, Class 2, 100V-277V, 50/60 Hz, 6kv Surge Protection, 720mA, 100-277VAC 0.4 Amps., Power Factor 98%.

THD:
12.9% at 120V

Input Watts:
61.

Output Lumens:
2498

Fixture Efficacy:
41 Lumens per Watt

Color Accuracy (CRI):
85 CRI

Correlated Color Temp. (Nominal CCT):
3000K

Thermal Management:
Optimized using computational fluid dynamics software to ensure long LED and driver lifespan

Housing:
Precision die-cast aluminum housing and lens frame.

Lens:
Clear tempered glass lens

Gaskets:
High-temperature silicone.

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals

Dark Sky Approved:
The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

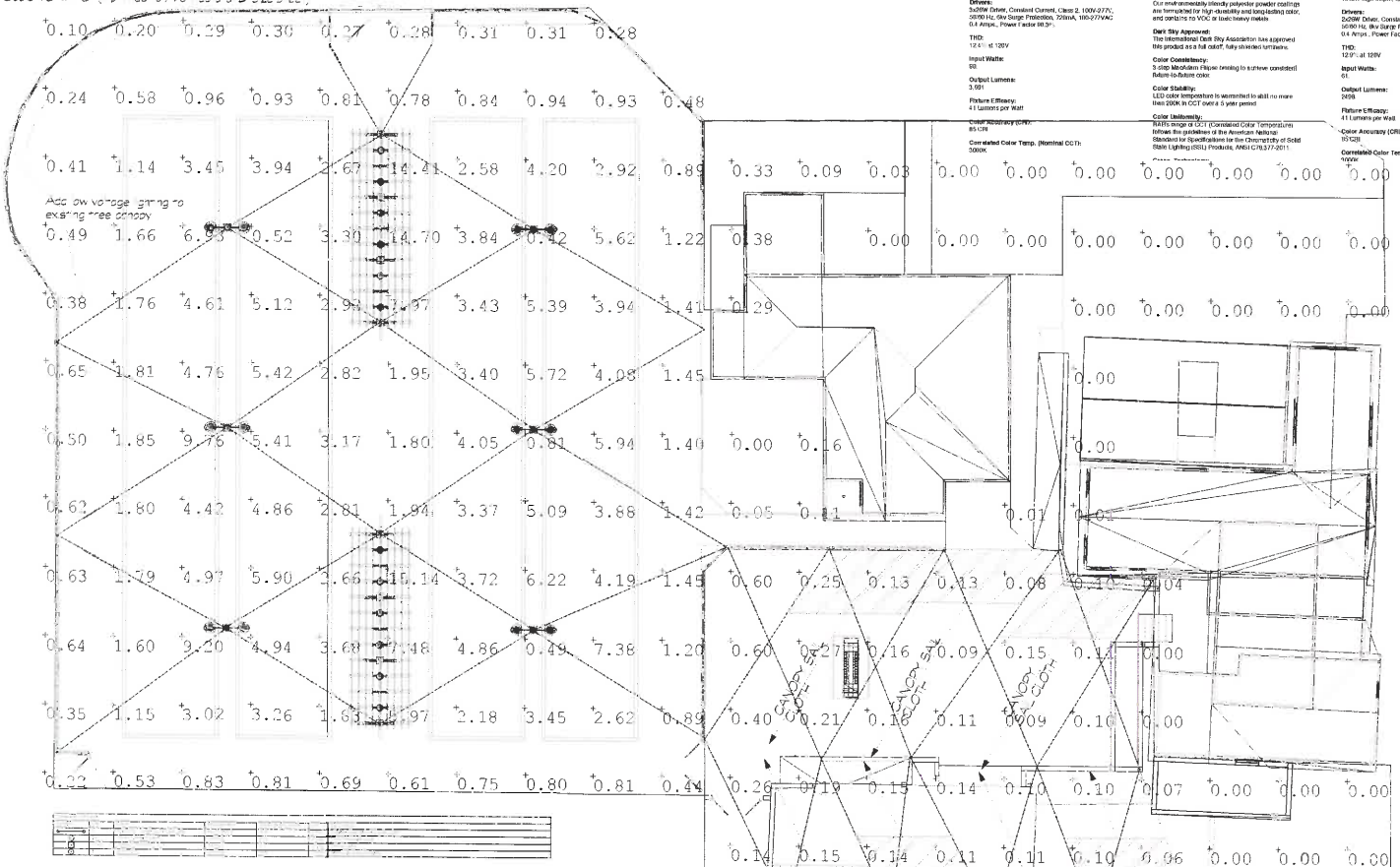
Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent future-to-future color.

Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:
NASPI range of CCT (Correlated Color Temperature) follows the guidelines of the American National

SITE PHOTOMETRICS

Scale 1/8" = 1'-0" (Formatted to Architectural D size sheet)



CANOPY STRUCTURE ELEVATION

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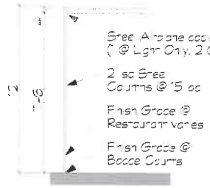


CANOPY SAIL CLOTH

Sail Cloth suspended from cables and retractable.

Summer Cloth transluscent and used as shade structure.

Winter Cloth heavier duty, providing some moisture protection and ability to hold heat in the space.

Fabric to meet or exceed Flame Resistance to NFPA-701 (2010) and ASTM E-84 Class "A" or "B" rating. As manufactured by Polytop, Arpatex 400 or equal.

Vizflx
P.O. Box 1
Clayton, CA 94517

CONSULTANTS

REGISTERED ARCHITECT
MICHAEL K. SMITH
No. 14916
STATE OF CALIFORNIA

Ipsen Bocce Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA
APN: 119-010-Y

NO.	DATE	DESCRIPTION

PROJECT NO. 2013-02
SHEET TITLE
DRAWN BY
CHECKED BY
SUBMITTED 2013-12-04

Project Lighting Plans and Fixtures

A-105

SHEET OF

/Volumes/Home/Users/bob/Dropbox/VIZ/Projects/Ipsen/Shared/BIM_files/Entitlement/ArchCAD/122213_IpsenBlock.pln

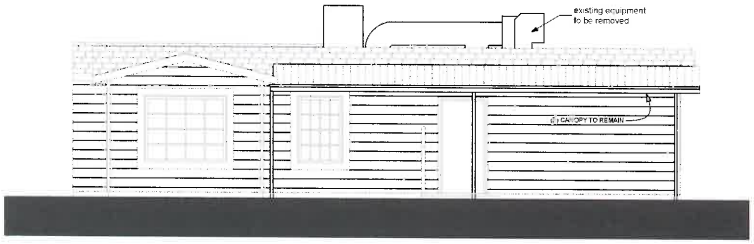
EXISTING CONDTIONS PHOTOS

Note exposed mechanical equipment. To be relocated behind new Mech. Screen.

Note exposed mechanical equipment. To be relocated behind new Mech. Screen.

EXISTING CONDITIONS NORTH ELEVATION

Scale 1/4" = 1'-0" (if printed to Architectural D size sheet)



EXISTING CONDITIONS SOUTH ELEVATION

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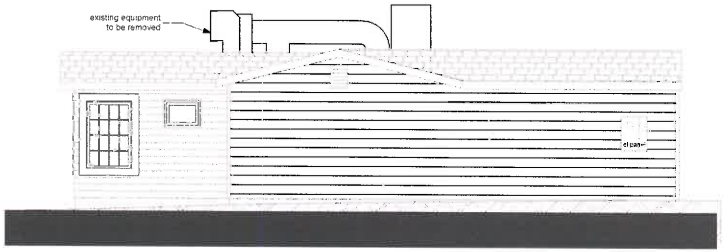
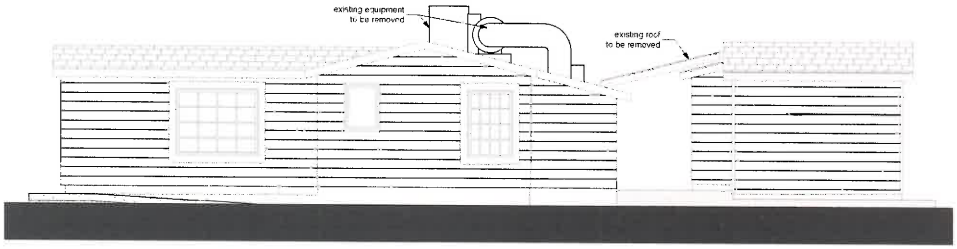


EXISTING CONDITIONS WEST ELEVATION

Scale 1/4" = 1'-0" (if printed to Architectural D size sheet)



EXISTING CONDITIONS EAST ELEVATION

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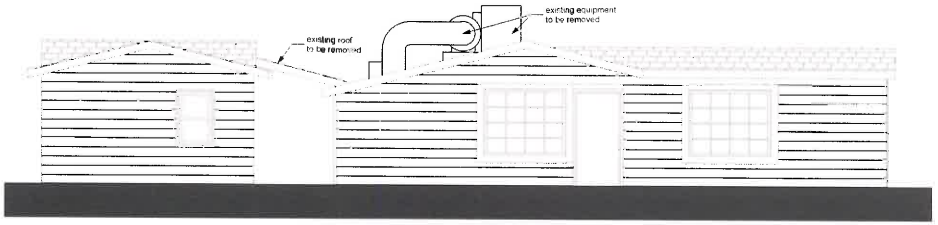

Vir flx
PO Box 972
Clayton, CA 94517

CONSULTANTS

REGISTERED ARCHITECT
MARK A. STAPLE
No. 14976
STATE OF CALIFORNIA

Ipsen Bocce Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA
APN: 119-020-007

REV	DATE	DESCRIPTION

PROJECT NO. 1922
PROJECT FILE
DRAWN BY
CHECK BY
PLOT DATE 2/13/2019

Existing Conditions
Elevations

A-201

SHEET 12 OF

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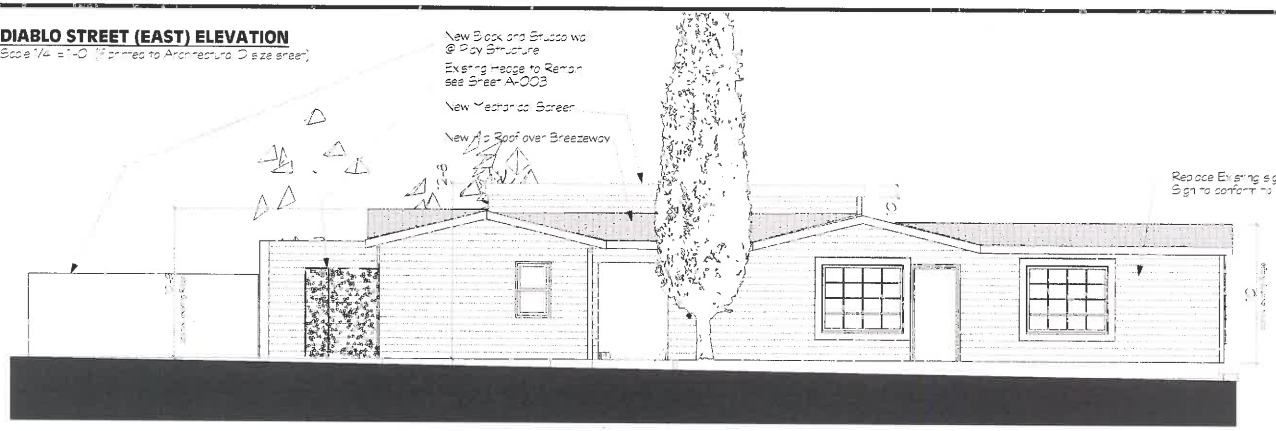
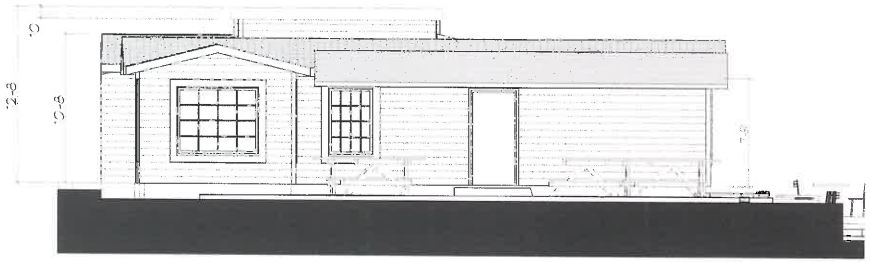
DIABLO STREET (EAST) ELEVATION

Scale 1/4 = 1'-0" (if printed to Architectural D size sheet)



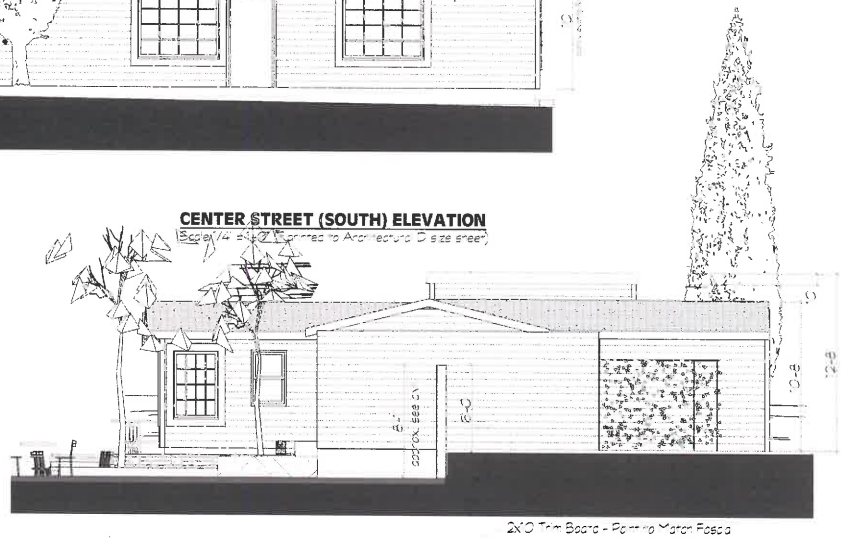
MAIN STREET (NORTH) ELEVATION

Scale 1/4 = 1'-0" (if printed to Architectural D size sheet)



CENTER STREET (SOUTH) ELEVATION

Scale 1/4 = 1'-0" (if printed to Architectural D size sheet)



STORM WATER RUN OFF

See Sheet A-001 for area calculations. Sheet A-103 for planter locations and sizes

Option 1: Disperse runoff from roofs or pavement to vegetated areas.

This is the simplest option. Downspouts can be directed to vegetated areas adjacent to buildings, or extended via pipes to reach vegetated areas further away. Paved areas can be designed with curb cuts, or without curbs, to direct flow into surrounding vegetation.

On the site plan, show:

- Each impervious area from which runoff will be directed, and its square footage.
- The vegetated areas that will receive runoff, and the approximate square footage of each.
- If necessary, explain in notes on the plan how runoff will be routed from impervious surfaces to vegetated areas.

Confirm the following standard specifications are met:

- Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area.
- Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
- Paved areas are sloped so drainage is routed to the receiving pervious area.
- Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
- Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
- Any drain inlets within the vegetated area are at least 3 inches above surrounding grade.

Connecting a roof leader to a vegetated area. The road from the new height makes it possible to route roof drainage some distance away from the building.

PATIO (WEST) ELEVATION

Scale 1/4 = 1'-0" (if printed to Architectural D size sheet)

Viz flx
PO Box 5
Clayton, CA 94517

CONSULTANTS

REGISTERED ARCHITECT
ROBERT A. LIBERATI
No. 11918
STATE OF CALIFORNIA

Ipsen Bocce Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA
see Form V

MARK	DATE	DESCRIPTION

PROJECT NO. 20002
DATE
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SHEET 12 OF

Skipolini's Elevations

A-202

SHEET 13 OF

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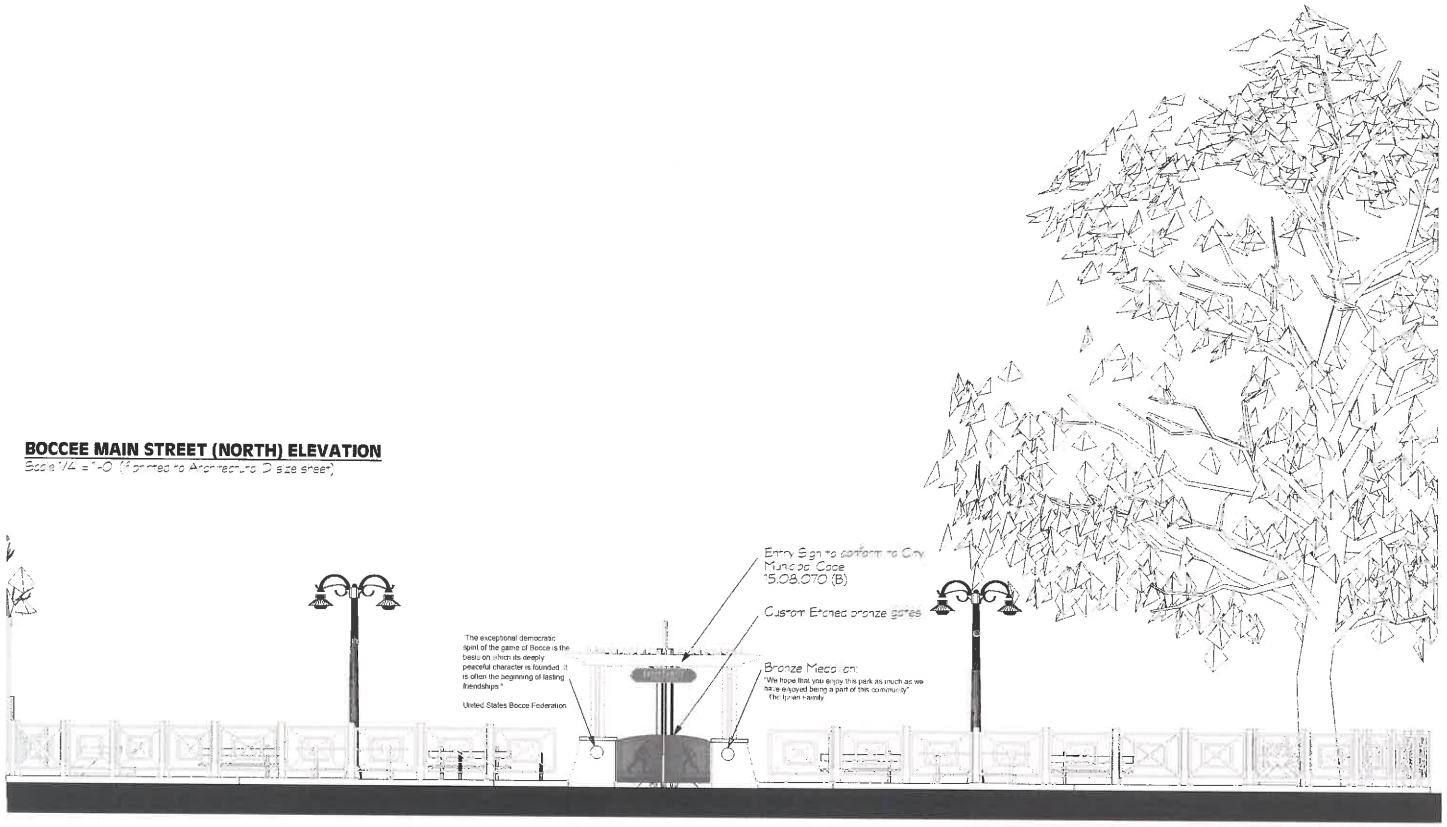
RESTAURANT SITE SECTION

Scale 1/4 = 1'-0" (if printed to Architectural D size sheet)

BOCCEE MAIN STREET (NORTH) ELEVATION

Scale 1/4 = 1'-0" (if printed to Architectural D size sheet)



Viz fl/x
PO Box 1?
Clayton, CA 94517

CONSULTANTS

REGISTERED ARCHITECT
BRIAN A. LAMPERT
No. 14976
STATE OF CALIFORNIA

Ipsen Boccee Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA
Oser Family

REV	DATE	DESCRIPTION

PROJECT NO. 2300.A
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SHEET TITLE
Restaurant Site Sections and Boccee Main St. Elevation

A-203

SHEET NO. OF

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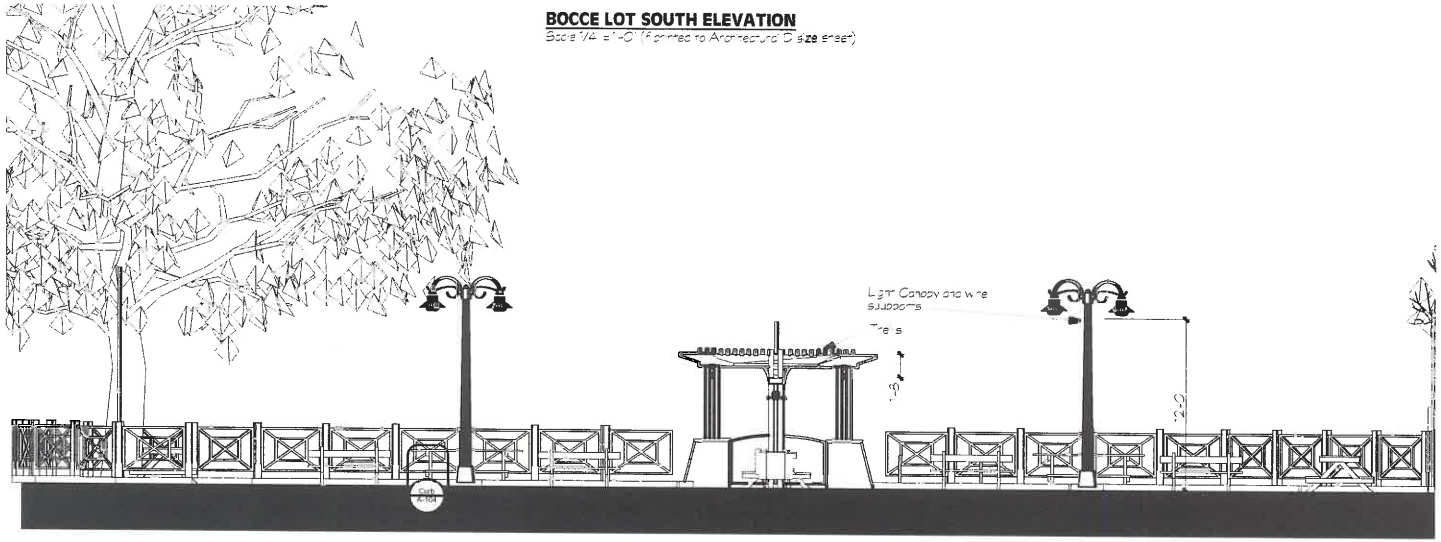
BOCCE LOT OAK STREET (WEST) ELEVATION
Scale 1/4" = 1'-0" (if printed to Architectural D size sheet)



BOCCE LOT SOUTH ELEVATION
Scale 1/4" = 1'-0" (if printed to Architectural D size sheet)

/Volumes/Home/Users/bob/Dropbox/VIZ/Projects/Ipsen/Shared/BIM_files/Entitlement/Archi/CAD/122213_IpsenBlock.pln

VIZ f/x
20 Boh Sq
Cayce, CA 94547

CONSULTANTS

REGISTERED ARCHITECT
ROBERT A. KEHRLE
No. 14978
STATE OF CALIFORNIA

Ipsen Bocce Park
and
Skipolini's Remodel
Main and Diablo Streets, Clayton, CA
Ipsen Family

NO.	DATE	DESCRIPTION

DATE ISSUED
SCALE
DRAWN BY
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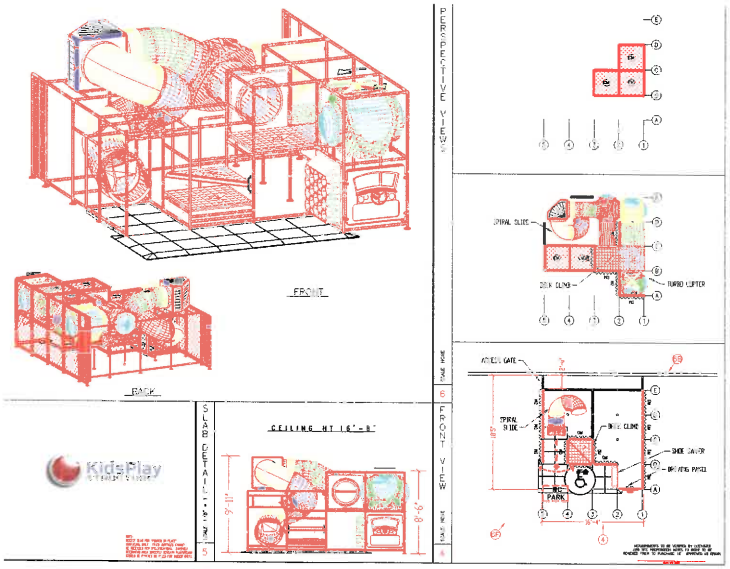
DATE REV.

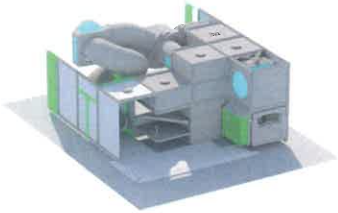
Bocce Elevations

A-204

SHEET 13 OF

PLAY STRUCTURE

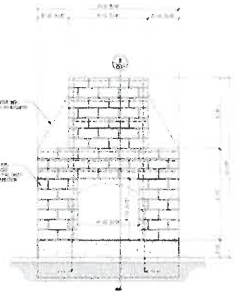




PATIO RENDERING

FIREPLACE DESIGN

Skipolini's Pittsburg location (similar)



STONE VENEER SAMPLE

Cultured Stone Country Ledge, Eucalyptus

Cultured Stone by BORAL

WALK IN COOLER CUT SHEET

Note: Compressor to be located remotely inside Mech. Wall

Polar King INTERNATIONAL, INC.

PATIO HEATER CUT SHEET

Lava Heat Italia - Lava Lite - Sale Sheet

Viz flx
PO Box 874
Clayton, CA 94517

CONSULTANTS

REGISTERED ARCHITECT
ROBERT L. LAMERA
No. 14978
STATE OF CALIFORNIA

Ipsen Bocce Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA

MARK	DATE	DESCRIPTION

PROJECT NO 23012
SCALE NTS
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SHEET TITLE
Restaurant Finishes

A-301

SHEET 15 OF

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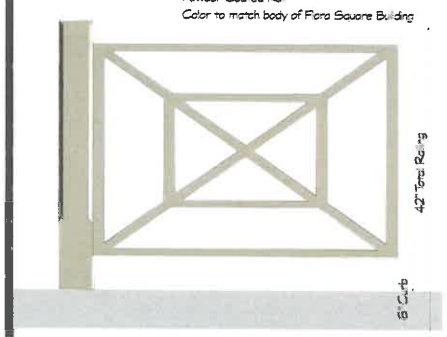
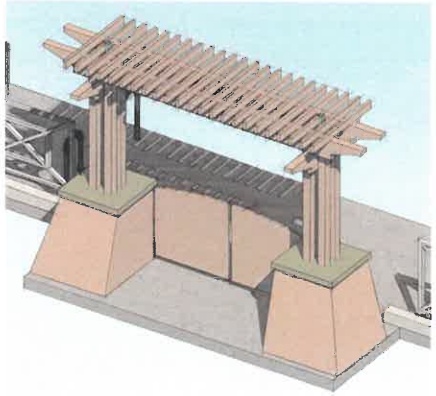
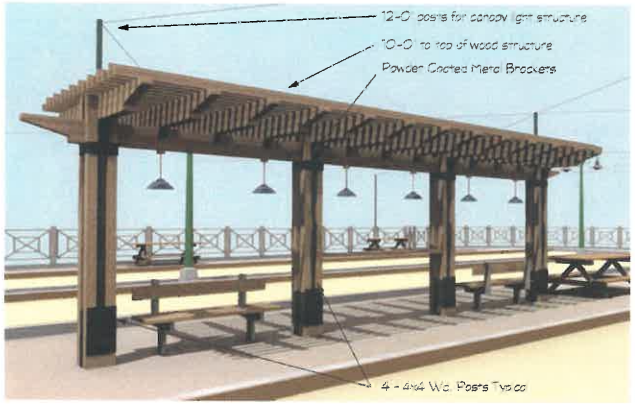
TYPICAL 5' FENCE SECTION



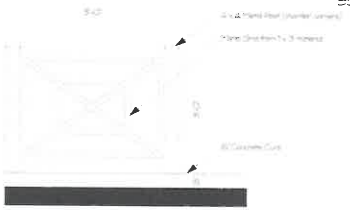
ENTRY PORTAL



10' WIDE X 30' TRELLIS (typ 2 LOCATIONS)

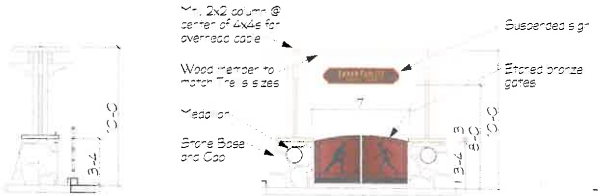


TYPICAL METAL RAILING SECTION



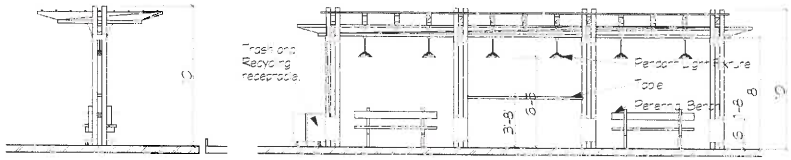
ENTRY FEATURE TRELLIS ELEVATIONS

Scale 1/4 = 1'-0" (if printed to Architectural D size sheet)



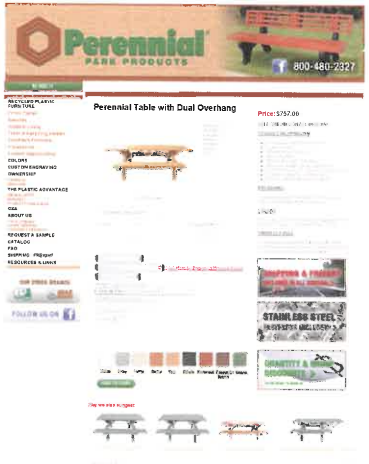
10 WIDE X 30' TRELLIS ELEVATIONS

Scale 1/4 = 1'-0" (if printed to Architectural D size sheet)



BOCCE LIGHT FIXTURES

BOCCE TEAM TABLES



BOCCE BENCHES

TUFF-SHED STORAGE STRUCTURE

Order options include horizontal siding, window with shutters and eave vent. Body color to be white, trim green to match Skipolini's Restaurant colors.

Building to be 10' x 10' on permeable surface (pavers).

Vizflx
PO Box 24
Clayton, CA 94517

CONSULTANTS

REGISTERED ARCHITECT
ROBERT A. STEELE
No. 14976
STATE OF CALIFORNIA

Ipsen Bocce Park and Skipolini's Remodel

Main and Diablo Streets, Clayton, CA

PART	DATE	DESCRIPTION

PROJECT NO. 230012
DRAWING FILE
DRAWN BY CS
CHECKED BY
DATE 2.28.24

SHEET NO. 17 OF 24

Bocce Finishes

A-302

SHEET 17 OF

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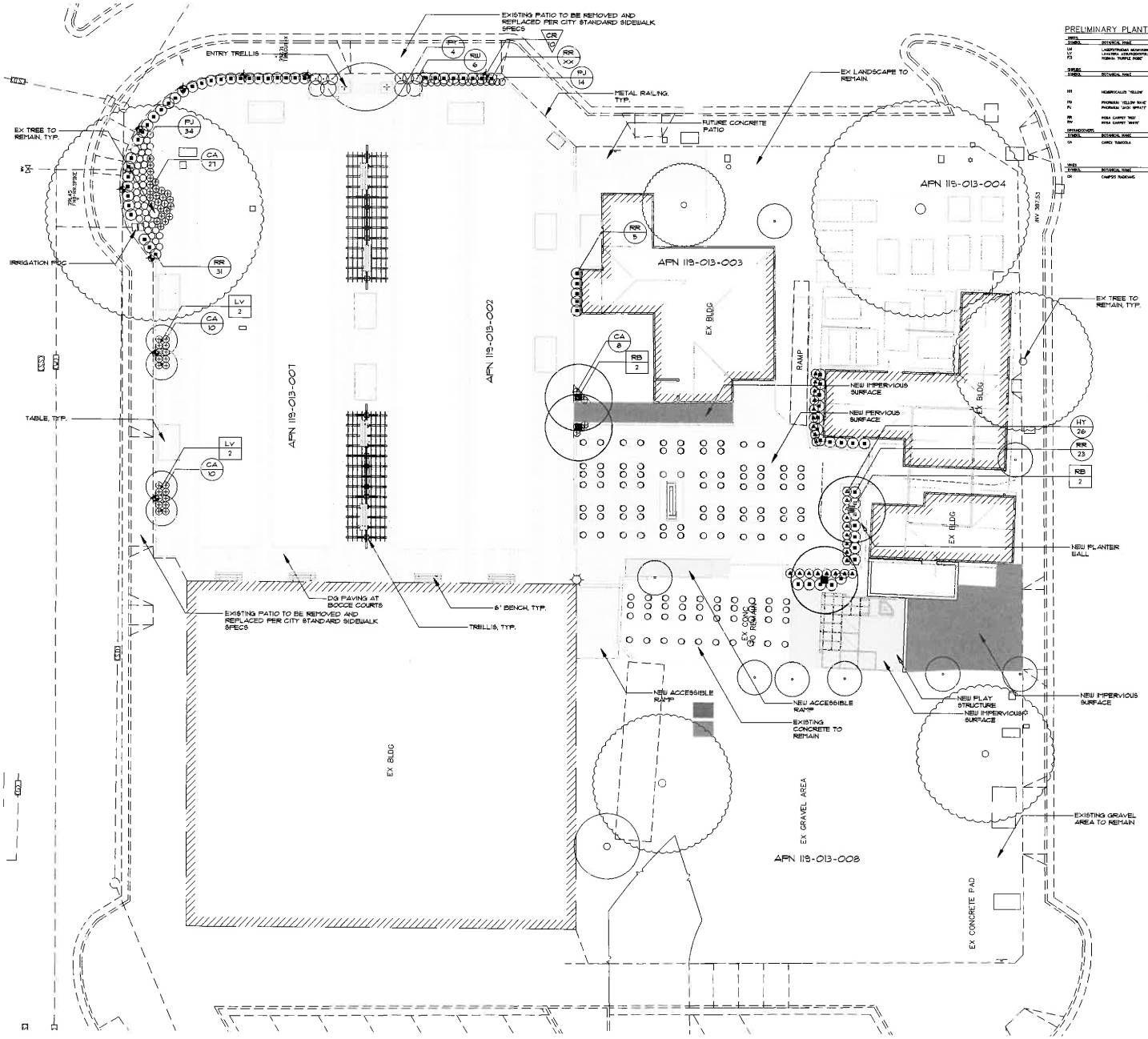


PRELIMINARY PLANT LIST

TREES								
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER REQ.	REFERENCE	CA NATIVE/AMD	
LV	LAGERSTROEMIA MICROPHYLLA	CRAPE MYRTLE	15 GAL.	AS SHOWN	MED-WDD	EBMUD	--	
TR	LIRIODENDRON TULIPIFERA STD.	TULIP WILLOW	15 GAL.	AS SHOWN	DCC-MDD	EBMUD	CA NATIVE	
	PRUNUS 'PURPLE PONY'	LUCONT	15 GAL.	AS SHOWN	LOW	BUTTES	--	
SHRUBS								
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER REQ.	REFERENCE	CA NATIVE/AMD	
HT	HEMEROCALLIS 'YELLOW'	EVERGREEN YELLOW DAYLILIES	1 GAL.	3'-6" O.C.	MDD	BUTTES	--	
PN	PHORMIUM 'YELLOW WAVE'	FLAX	1 GAL.	3'-6" O.C.	DCC-MDD	EBMUD	--	
PL	PHORMIUM 'LIME STRIPE'	FLAX	1 GAL.	3'-6" O.C.	DCC-MDD	EBMUD	--	
RR	ROSA CARPET 'RED'	RED CARPET ROSE	1 GAL.	2'-6" O.C.	DCC-MDD	EBMUD	--	
RW	ROSA CARPET 'WHITE'	WHITE CARPET ROSE	1 GAL.	2'-6" O.C.	DCC-MDD	EBMUD	--	
GROUNDCOVERS								
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER REQ.	REFERENCE	CA NATIVE/AMD	
CA	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL.	2'-6" O.C.	DCC-MDD	EBMUD	CA NATIVE	
VINES								
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER REQ.	REFERENCE	CA NATIVE/AMD	
CR	CAMPSIS RADICANS	TRUMPET VINE	1 GAL.	AS SHOWN	DCC-MDD	EBMUD	--	

PLANTING LEGEND

- XX / XX — TREE NAME / QUANTITY
- XX / XX — SHRUB NAME / QUANTITY
- XX / -- — GROUNDCOVER / QUANTITY
- XX / X — VINE / QUANTITY

LANDSCAPE COVERAGE

LOT #	LOT SQ. FT.	PROPOSED LANDSCAPE SQ. FT.
APN 119-013-002	5,192	2,394
APN 119-013-003	6,502	3,858
APN 119-013-004	6,010	1,529
APN 119-013-007	4,378	1,854
APN 119-013-008	6,140	1,123
TOTAL:	28,122	10,758
% LANDSCAPE OPEN SPACE:		38.25%

GATES +ASSOCIATES
LANDSCAPE ARCHITECTURE
LAND PLANNING · URBAN DESIGN
2671 CROW CANYON RD. SAN RAMON, CA 94583
T 925.735.8175 www.dgates.com

IPSEN BOCCE PARK AND SKIPOLINI'S

CLAYTON
CALIFORNIA

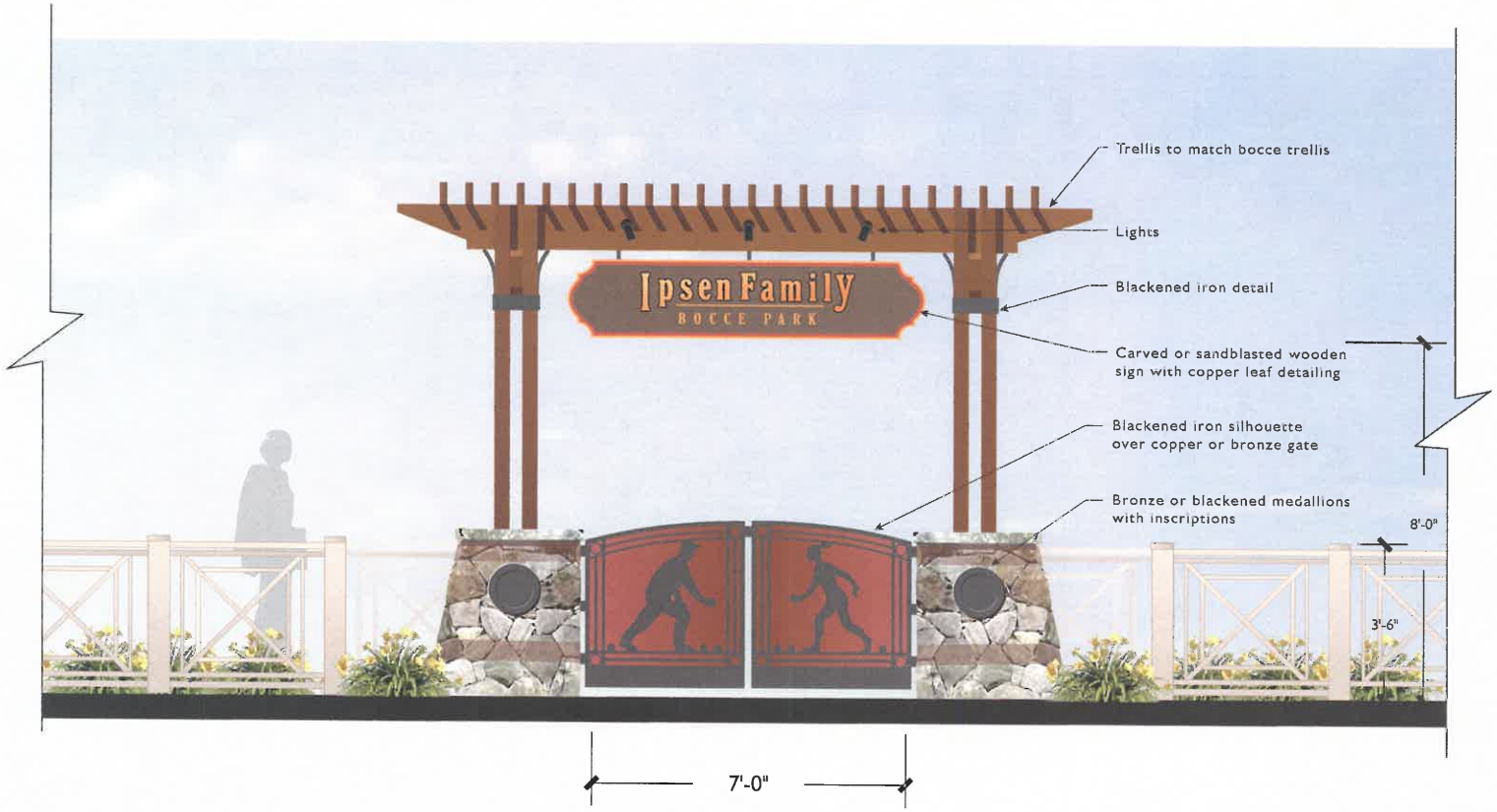
ISSUE:	DESCRIPTION:	DATE:

PROJECT NUMBER:	4609
DRAWN:	MNO
CHECK:	DG
DATE:	01/02/2014
SCALE:	1"=10'-0"

LANDSCAPE PLAN

L1

- of -



CONCEPT
FRONT VIEW
Scale: 3/8" = 1'-0"

Sheet L2

GENERAL NOTES

1. A BRONZE DISK IN THE TOP OF A CONCRETE POST, AT THE "T" OF CLAYTON ROAD (MAIN STREET) AND MARSH CREEK ROAD LEADING SOUTH, 36 FEET SOUTH OF THE CENTERLINE OF CLAYTON ROAD (MAIN STREET), 5.4 FEET SOUTH OF A FIRE HYDRANT, 1.9 FEET WEST OF THE FENCE CORNER POST AND 2.0 FEET SOUTHEAST OF A WITNESS POST. ELEVATION = 393.90
2. ALL GRADING, SITE PREPARATION, PLACING, AND COMPACTION OF FILL IS TO BE DONE IN ACCORDANCE WITH THE CITY OF CLAYTON REQUIREMENTS AND ALSO UNDER THE DIRECT OBSERVATION OF THE SOILS ENGINEER.
3. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CLAYTON SPECIFICATIONS, AND STANDARD PLANS.
4. THE CONTRACTOR SHALL NOTIFY THE CITY OF CLAYTON ENGINEERING DEPARTMENT SECTION 48 HOURS PRIOR TO THE START OF THE WORK.
5. ANY DEVIATION FROM THE APPROVED GRADING PLANS REQUIRES PRIOR APPROVAL FROM THE CITY OF CLAYTON ENGINEERING DEPARTMENT AND THE ENGINEER PRIOR TO ADVANCING THE AMENDED PORTIONS OF THE WORK IN THE FIELD.
6. DURING GRADING OPERATIONS, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES ON SITE AND HAUL ROUTES. THE CONTRACTOR SHALL PROVIDE WATER FOR DUST CONTROL AND EARTH COMPACTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COMPLAINTS OR DAMAGE DUE TO DUST CAUSED BY HIS OPERATION.
7. IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER ONSITE EXCAVATION, EARTHWORK WITHIN 400 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES IF THEY ARE DEEMED NECESSARY.
8. THE PADS ARE TO BE CONSTRUCTED LEVEL FRONT TO REAR AND SIDE TO SIDE WITH A TOLERANCE OF 0.1 FEET.
9. ALL EARTH SWALES SHALL BE 1% MINIMUM AND NO STEEPER THAN 4%.
10. ONCE THE GRADING OPERATION IS UNDERWAY AND IT IS APPARENT THAT STRICT CONFORMANCE TO THE GRADING PLAN WILL NOT RESULT IN A BALANCED CUT AND FILL, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
11. SILT AND EROSION CONTROL PLANS ARE REQUIRED FOR WORK DURING RAINY SEASON (OCTOBER 1 THROUGH MAY 1).
12. NO TREES AND ROOT SYSTEMS SHALL BE REMOVED UNLESS THEY ARE NOTED TO BE REMOVED ON THE GRADING PLAN. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR WHICH ARE OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED, TREATED, AND SEALED.
13. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT DE BOLT CIVIL ENGINEERING AT 925 / 837 - 3780 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
14. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AT ALL TIMES. THE CONTRACTOR SHALL HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY REAL OR ALLEGED LIABILITIES, EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES IN THE FIELD. UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND BASED UPON AVAILABLE DATA. ANY UTILITIES EXPOSED OR DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY HIM AT HIS EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DIFFERENCES IN LOCATION OF EXISTING UTILITIES FROM THAT SHOWN, OR ANY CONFLICTS WITH THE DESIGN, BEFORE CONTINUING WITH WORK IN THAT AREA.
16. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, (800) 642 - 2444, 48 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
17. ALL NEW UTILITY DISTRIBUTION SERVICES SHALL BE PLACED UNDERGROUND.
18. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL STRIPPINGS BY PLACING THEM IN THE STOCKPILES AND EXCHANGING STRIPPINGS WITH UNCONTAMINATED MATERIAL IF NECESSARY.
19. ALL COMPACTED FINISHED GRADES SHOULD BE SLOPED AT A MINIMUM OF 2 % FROM THE EXTERIOR FOUNDATION FOR A DISTANCE OF 5 FEET MINIMUM.
20. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
21. IF THERE ARE ANY EXISTING WATER WELLS ON THIS PROPERTY, CONTRACTOR IS TO CONTACT THE COUNTY DEPARTMENT OF HEALTH SERVICES, ENVIRONMENTAL HEALTH DIVISION, PRIOR TO ANY GRADING IN THE IMMEDIATE VICINITY OF THESE WELLS.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY EXISTING IMPROVEMENTS WHICH ARE TO REMAIN, SUCH AS PAVEMENT, CURB, GUTTER, AND SIDEWALK DAMAGED BY HIM, HIS SUBCONTRACTORS, OR MATERIAL SUPPLIERS.
23. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY FIELD CONFLICTS AND TO PROCEED AS DIRECTED BY THE ENGINEER.
24. THE CONTRACTOR AND SUBCONTRACTORS TO FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS WHICH ARE IN GOOD CONDITION, AND TO LOCATE STATIONARY NOISE - GENERATING EQUIPMENT AS FAR AWAY FROM EXISTING RESIDENCES AS FEASIBLE.
25. A WATERING PROGRAM WHICH INCORPORATES THE USE OF A DUST SUPPRESSANT, AND WHICH COMPLIES WITH REGULATION 2 OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT SHALL BE ESTABLISHED AND IMPLEMENTED FOR ALL ON AND OFF - SITE CONSTRUCTION ACTIVITIES. EQUIPMENT AND HUMAN RESOURCES FOR WATERING ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE SUPPLIED ON WEEKENDS AND HOLIDAYS AS WELL AS WORK DAYS. DUST-PRODUCING ACTIVITIES SHALL BE DISCONTINUED DURING HIGH WIND PERIODS.
26. STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND SHALL BE COVERED.
27. THE CONTRACTOR SHALL KEEP ADJOINING PUBLIC STREETS FREE AND CLEAN OF PROJECT DIRT, MUD, MATERIALS AND DEBRIS DURING THE CONSTRUCTION PERIOD.
28. GRADING WORK HOURS ARE 7:30 A.M. TO 5:30 P.M. MONDAY THROUGH FRIDAY. NO GRADING WORK WILL BE PREFORMED ON OBSERVED NATIONAL HOLIDAYS.

SITE SPECIFIC MANAGEMENT PRACTICES

A. EROSION CONTROL
1) SCHEDULING CONSTRUCTION ACTIVITIES TO REDUCE EROSION POTENTIAL, AND STABILIZE NON-ACTIVE AREAS AS SOON AS POSSIBLE AFTER CESSATION OF SOIL DISTURBING ACTIVITIES.

2) PRESERVING EXISTING VEGETATION ON THE SITE WHERE NO CONSTRUCTION ACTIVITY OCCURS, OR OCCURS AT A LATER DATE.

B. SEDIMENT CONTROL
1) A TEMPORARY SEDIMENT TRAP IS PROPOSED JUST INSIDE THE PROPERTY LINE TO ALLOW SEDIMENT TO SETTLE OUT PRIOR TO RUNOFF LEAVING THE SITE.

C. RUN-ON AND RUN-OFF CONTROL
1) THE NEUTRAL DRAINAGE PATTERNS ARE SUCH THAT RUNOFF FROM ADJOINING SITES IS NOT ANTICIPATED.

2) RUN-OFF CONTROL IS PROPOSED USING SWALES, STRAW WATTLE, AND THE TEMPORARY SEDIMENT TRAP.

D. GOOD SITE MANAGEMENT:
1) MATERIAL HANDLING AND STORAGE WILL BE DONE IN A WAY THAT MINIMIZES AND DISCHARGE OF MATERIALS TO STORM DRAIN SYSTEM.

2) STOCK PILES WILL BE MANAGE TO REDUCE AIR AND STORM WATER POLLUTION.

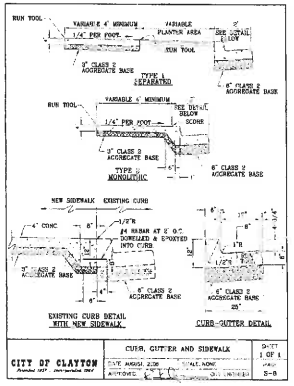
3) WASTE MANAGEMENT PRACTICES WILL BE INCORPORATED TO PREVENT CONSTRUCTION WASTES FROM ENTERING THE STORM DRAIN SYSTEM.

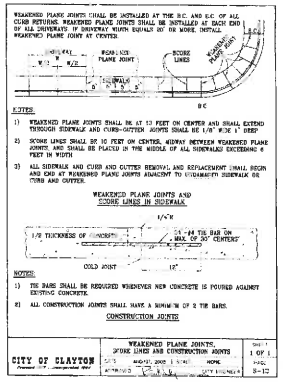
E. NON STORM WATER MANAGEMENT:
1)CONCRETE WASHOUT AREA WILL BE PROVIDED.

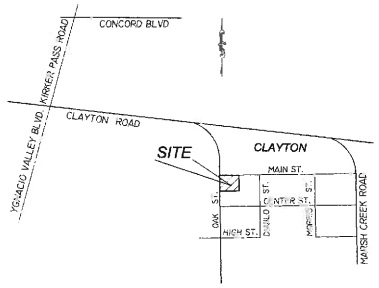
2) NO EQUIPMENT FUELING, CLEANING, OR MAINTENANCE IS EXPECTED TO BE PERFORMED ON-SITE.

3) WATER CONSERVATION PRACTICES WILL BE INCORPORATED.

F. ACTIVE TREATMENT SYSTEM
NONE EXPECTED



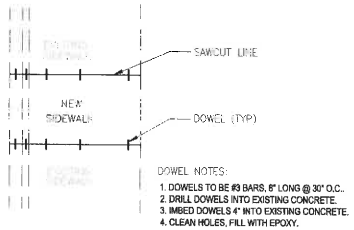




VICINITY MAP
N.T.S.

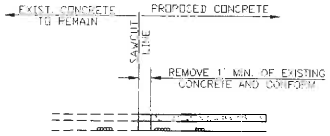
LEGEND AND ABBREVIATIONS

PROPOSED	EXISTING	DESCRIPTION
	( )	FENCE EXISTING
500		CONTOURS (1' INTERVALS)
800.00	(850.00)	SPOT ELEVATION
		LOT LINE
		EASEMENT LINE
		CURB & GUTTER
		EDGE OF PAVEMENT
		CHECKED 12" DRAIN BOX
		NDS INLET OR APPROVED EQUAL
		SPRINKLER LINE
		TREE TO REMAIN
		TREE TO BE REMOVED
		HOUSE FOOTPRINT
		EARTH SWALE
2.0%		DIRECTION OF FLOW
FF		FINISHED FLOOR
P		PAVEMENT
TC		TOP OF CURB
EP		EDGE OF PAVEMENT
FL		FLOW LINE
GND		GROUND
GB		GRADE
INV		INVERT
TS		TOP OF SLAB

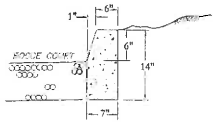


DOWEL NOTES:
1. DOWELS TO BE #3 BARS, 8" LONG @ 30" O.C..
2. DRILL DOWELS INTO EXISTING CONCRETE.
3. IMBED DOWELS 4" INTO EXISTING CONCRETE.
4. CLEAN HOLES, FILL WITH EPOXY.

DOWEL DETAIL
N.T.S.



SAWCUT DETAIL
N.T.S.



CURB DETAIL
N.T.S.

SHEET INDEX	
SHEET NO.	DESCRIPTION
1.	NOTES AND DETAILS
2.	GRADING AND DRAINAGE PLAN
3.	EROSION CONTROL PLAN

Sheet C-101

GRADING and DRAINAGE PLAN

BOCCE BALL COURTS

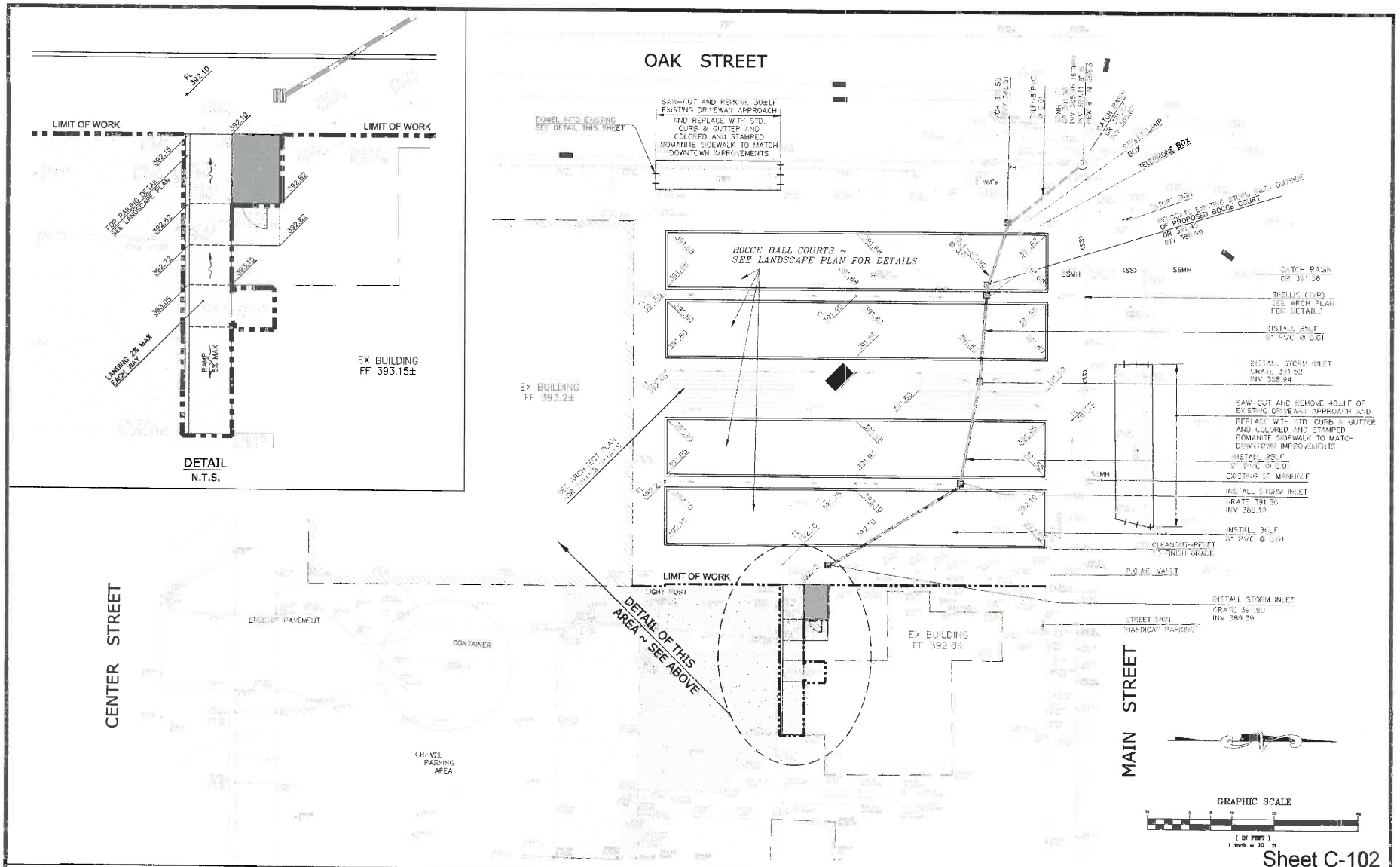
CITY OF CLAYTON — CONTRA COSTA COUNTY — CALIFORNIA

JAMES E. DIGGINS R.C.E. 27818
RENEWAL DATE: 03/31/14

#	REVISIONS	DATE

DeBolt Civil Engineering
811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/837-3780
Fax: 925/837-4378
deboltcivil@earthlink.net

Date: 1/22/2014
Scale: AS SHOWN
By: JED / JE
Job No.: 13158

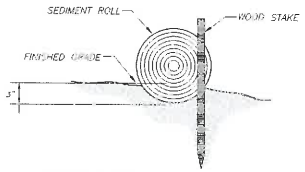


Sheet C-102

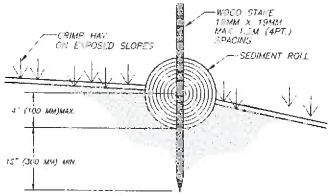
GRADING and DRAINAGE PLAN	BOCCE BALL COURTS				
	CITY OF CLAYTON	CONTRA COSTA COUNTY	CALIFORNIA	JAMES E. DIGGINS R.C.E. 27818 RENEWAL DATE: 03/31/14	# REVISIONS DATE

DeBolt Civil Engineering
811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/837-3780
Fax: 925/837-4378
deboltcivil@earthlink.net

Date: 1/2/2014
Scale: 1" = 10'
By: HDD/JM
Job No.: 1319



ENTRENCHMENT DETAIL IN FLAT AREAS
N.T.S.

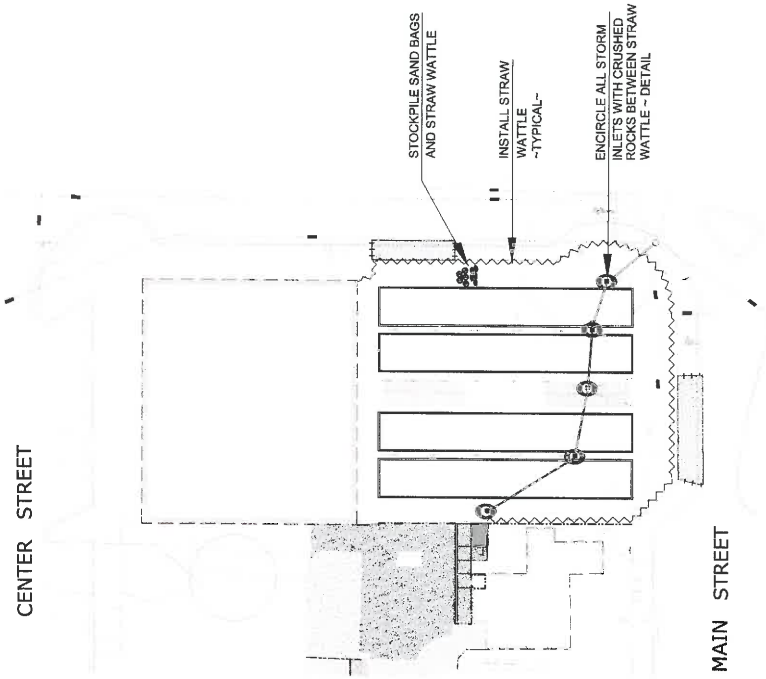


ENTRENCHMENT DETAIL IN SLOPE AREA
N.T.S.

STRAW WATTLE DETAILS
N.T.S.

LEGEND

- STRAW WATTLE STOCKPILE
- STRAW WATTLE
- GRAVEL BAG STOCKPILE



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

Sheet C-103

EROSION CONTROL PLAN

BOCCE BALL COURTS

CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

JAMES E. DIGGINS R.C.E. 27618
RENEWAL DATE: 09/01/14

#	REVISIONS	DATE

DeBolt Civil Engineering
811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/837-3780
Fax: 925/837-4378
deboltcivil@earthlink.net

Date: 1/2/2014
Scale: 1" = 20'
By: JED / M
Job No.: 13158

GENERAL NOTES

1. A BRONZE DISK IN THE TOP OF A CONCRETE POST, AT THE "T" OF CLAYTON ROAD (MAIN STREET) AND MARSH CREEK ROAD LEADING SOUTH, 36 FEET SOUTH OF THE CENTERLINE OF CLAYTON ROAD (MAIN STREET), 5.4 FEET SOUTH OF A FIRE HYDRANT, 1.9 FEET WEST OF THE FENCE CORNER POST AND 2.0 FEET SOUTHEAST OF A WITNESS POST. ELEVATION = 393.90
2. ALL GRADING, SITE PREPARATION, PLACING, AND COMPACTION OF FILL IS TO BE DONE IN ACCORDANCE WITH THE CITY OF CLAYTON REQUIREMENTS AND ALSO UNDER THE DIRECT OBSERVATION OF THE SOILS ENGINEER.
3. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CLAYTON SPECIFICATIONS, AND STANDARD PLANS.
4. THE CONTRACTOR SHALL NOTIFY THE CITY OF CLAYTON ENGINEERING DEPARTMENT SECTION 48 HOURS PRIOR TO THE START OF THE WORK.
5. ANY DEVIATION FROM THE APPROVED GRADING PLANS REQUIRES PRIOR APPROVAL FROM THE CITY OF CLAYTON ENGINEERING DEPARTMENT AND THE ENGINEER PRIOR TO ADVANCING THE AMENDED PORTIONS OF THE WORK IN THE FIELD.
6. DURING GRADING OPERATIONS, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES ON SITE AND HAUL ROUTES. THE CONTRACTOR SHALL PROVIDE WATER FOR DUST CONTROL AND EARTH COMPACTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COMPLAINTS OR DAMAGE DUE TO DUST CAUSED BY HIS OPERATION.
7. IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER ONSITE EXCAVATION, EARTHWORK WITHIN 400 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES IF THEY ARE DEEMED NECESSARY.
8. THE PADS ARE TO BE CONSTRUCTED LEVEL FRONT TO REAR AND SIDE TO SIDE WITH A TOLERANCE OF 0.1 FEET.
9. ALL EARTH SWALES SHALL BE 1% MINIMUM AND NO STEEPER THAN 4%.
10. ONCE THE GRADING OPERATION IS UNDERWAY AND IT IS APPARENT THAT STRICT CONFORMANCE TO THE GRADING PLAN WILL NOT RESULT IN A BALANCED CUT AND FILL, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
11. SILT AND EROSION CONTROL PLANS ARE REQUIRED FOR WORK DURING RAINY SEASON (OCTOBER 1 THROUGH MAY 1).
12. NO TREES AND ROOT SYSTEMS SHALL BE REMOVED UNLESS THEY ARE NOTED TO BE REMOVED ON THE GRADING PLAN. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR WHICH ARE OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED, TREATED, AND SEALED.
13. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT DE BOLT CIVIL ENGINEERING AT 925/837 - 3780 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
14. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AT ALL TIMES. THE CONTRACTOR SHALL HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY REAL OR ALLEGED LIABILITIES, EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES IN THE FIELD. UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND BASED UPON AVAILABLE DATA. ANY UTILITIES EXPOSED OR DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY HIM AT HIS EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DIFFERENCES IN LOCATION OF EXISTING UTILITIES FROM THAT SHOWN, OR ANY CONFLICTS WITH THE DESIGN, BEFORE CONTINUING WITH WORK IN THAT AREA.
16. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT, (800) 642 - 2444, 48 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
17. ALL NEW UTILITY DISTRIBUTION SERVICES SHALL BE PLACED UNDERGROUND.
18. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL STRIPPINGS BY PLACING THEM IN THE STOCKPILES AND EXCHANGING STRIPPINGS WITH UNCONTAMINATED MATERIAL IF NECESSARY.
19. ALL COMPACTED FINISHED GRADES SHOULD BE SLOPED AT A MINIMUM OF 2 % FROM THE EXTERIOR FOUNDATION FOR A DISTANCE OF 5 FEET MINIMUM.
20. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
21. IF THERE ARE ANY EXISTING WATER WELLS ON THIS PROPERTY, CONTRACTOR IS TO CONTACT THE COUNTY DEPARTMENT OF HEALTH SERVICES, ENVIRONMENTAL HEALTH DIVISION, PRIOR TO ANY GRADING IN THE IMMEDIATE VICINITY OF THESE WELLS.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY EXISTING IMPROVEMENTS WHICH ARE TO REMAIN, SUCH AS PAVEMENT, CURB, GUTTER, AND SIDEWALK DAMAGED BY HIM, HIS SUBCONTRACTORS, OR MATERIAL SUPPLIERS.
23. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY FIELD CONFLICTS AND TO PROCEED AS DIRECTED BY THE ENGINEER.
24. THE CONTRACTOR AND SUBCONTRACTORS TO FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS WHICH ARE IN GOOD CONDITION, AND TO LOCATE STATIONARY NOISE - GENERATING EQUIPMENT AS FAR AWAY FROM EXISTING RESIDENCES AS FEASIBLE.
25. A WATERING PROGRAM WHICH INCORPORATES THE USE OF A DUST SUPPRESSANT, AND WHICH COMPLIES WITH REGULATION 2 OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT SHALL BE ESTABLISHED AND IMPLEMENTED FOR ALL ON AND OFF - SITE CONSTRUCTION ACTIVITIES. EQUIPMENT AND HUMAN RESOURCES FOR WATERING ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE SUPPLIED ON WEEKENDS AND HOLIDAYS AS WELL AS WORK DAYS. DUST-PRODUCING ACTIVITIES SHALL BE DISCONTINUED DURING HIGH WIND PERIODS.
26. STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND SHALL BE COVERED.
27. THE CONTRACTOR SHALL KEEP ADJOINING PUBLIC STREETS FREE AND CLEAN OF PROJECT DIRT, MUD, MATERIALS AND DEBRIS DURING THE CONSTRUCTION PERIOD.
28. GRADING WORK HOURS ARE 7:30 A.M. TO 5:30 P.M. MONDAY THROUGH FRIDAY. NO GRADING WORK WILL BE PREFORMED ON OBSERVED NATIONAL HOLIDAYS.

SITE SPECIFIC MANAGEMENT PRACTICES

A. EROSION CONTROL
   1) SCHEDULING CONSTRUCTION ACTIVITIES TO REDUCE EROSION POTENTIAL, AND STABLIZE NON-ACTIVE AREAS AS SOON AS POSSIBLE AFTER CESSATION OF SOIL DISTURBING ACTIVITIES.

   2) PRESERVING EXISTING VEGETATION ON THE SITE WHERE NO CONSTRUCTION ACTIVITY OCCURS, OR OCCURS AT A LATER DATE.

B. SEDIMENT CONTROL
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C. RUN-ON AND RUN-OFF CONTROL
   1) THE NEUTRAL DRAINAGE PATTERNS ARE SUCH THAT RUNOFF FROM ADJOINING SITES IS NOT ANTICIPATED.

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   2) STOCK PILES WILL BE MANAGE TO REDUCE AIR AND STORM WATER POLLUTION.

   3) WASTE MANAGEMENT PRACTICES WILL BE INCORPORATED TO PREVENT CONSTRUCTION WASTES FROM ENTERING THE STORM DRAIN SYSTEM.

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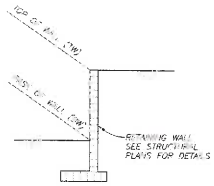
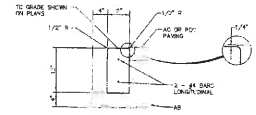
   2) NO EQUIPMENT FUELING, CLEANING, OR MAINTENANCE IS EXPECTED TO BE PERFORMED ON-SITE.

   3) WATER CONSERVATION PRACTICES WILL BE INCORPORATED.

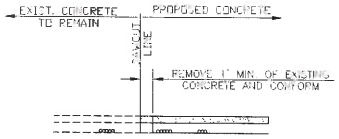
F. ACTIVE TREATMENT SYSTEM
   NONE EXPECTED



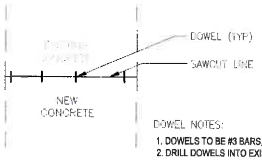
TYPICAL WALL DETAIL
N.T.S.



FLUSH CURB DETAIL
N.T.S.

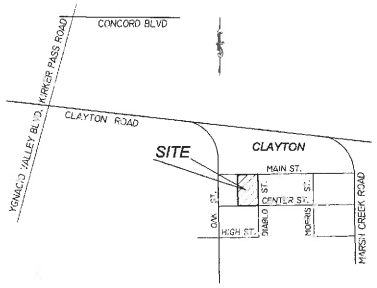


SAWCUT DETAIL
N.T.S.



DOWEL NOTES:
1. DOWELS TO BE #3 BARS, 8" LONG @ 30" O.C..
2. DRILL DOWELS INTO EXISTING CONCRETE.
3. IMBED DOWELS 4" INTO EXISTING CONCRETE.
4. CLEAN HOLES, FILL WITH EPOXY.

DOWEL DETAIL
N.T.S.



VICINITY MAP
N.T.S.

LEGEND AND ABBREVIATIONS

PROPOSED	EXISTING	DESCRIPTION
	( )	DENOTES EXISTING
800		CONTOURS (1' INTERVALS)
800.00	800.00	SPOT ELEVATION
		LOT LINE
		EASEMENT LINE
		CURB & GUTTER
		EDGE OF PAVEMENT
		GRATED DRAIN BOX
		MES INLET OR APPROVED EQUAL
		SAWCUT LINE
		TREE TO REMAIN
		TREE TO BE REMOVED
		HOUSE FOOTPRINT
		EARTH SWALE
2.0%		DIRECTION OF FLOW
BF		FINISHED FLOOR
P		PAVEMENT
TC		TOP OF CURB
EP		EDGE OF PAVEMENT
FL		FLOW LINE
UPD		UPPER PAD
GP		GRADE PAD
INV		INVERT
TOS		TOP OF SLOPE

SHEET INDEX

SHEET NO.	DESCRIPTION
1.	NOTES AND DETAILS
2.	GRADING AND DRAINAGE PLAN
3.	EROSION CONTROL PLAN

Sheet C-201

GRADING and DRAINAGE PLAN

1033 DIABLO STREET

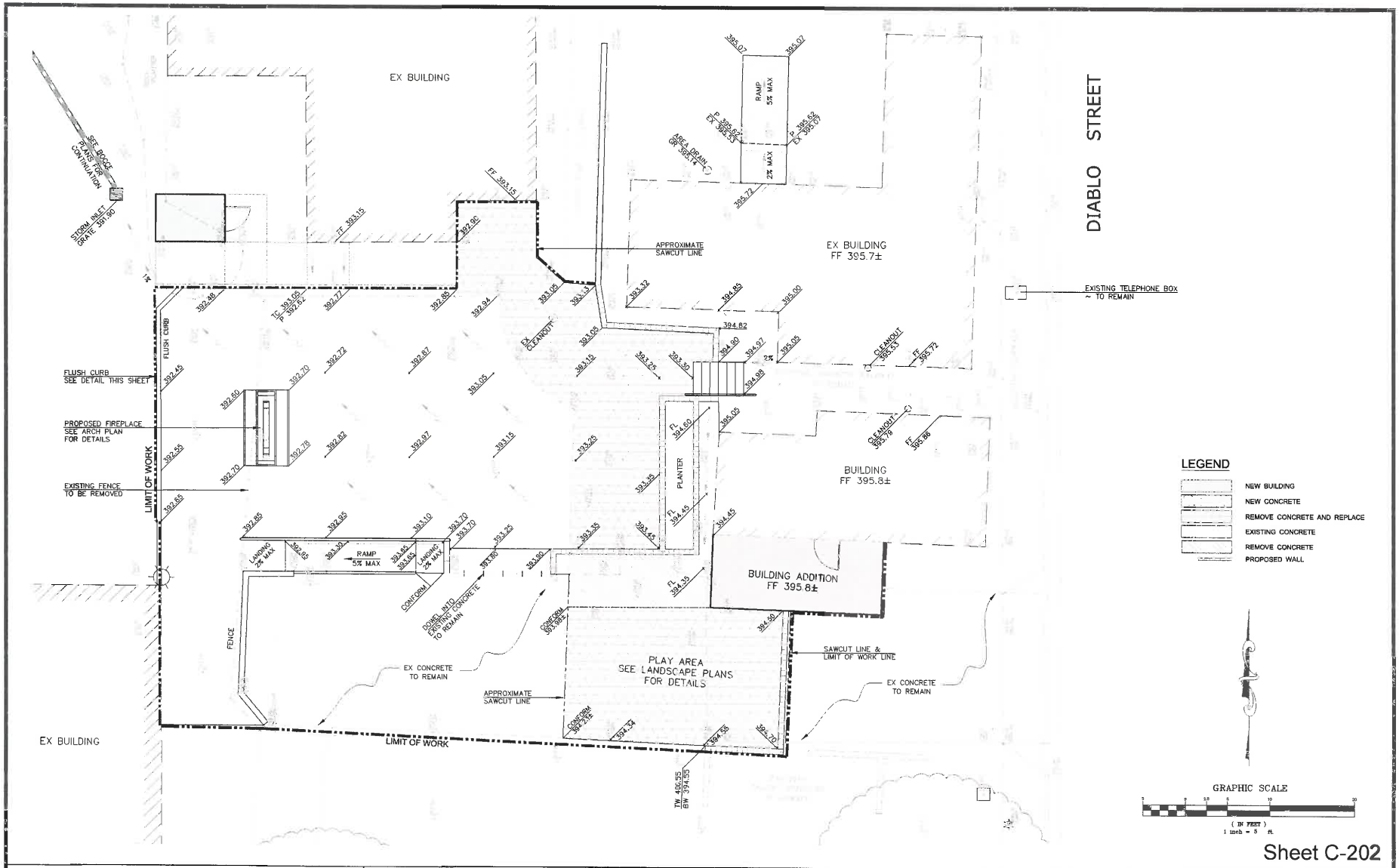
CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

JAMES S. DIGGINS R.C.E. 27616
RENEWAL DATE: 03/31/14

#	REVISIONS	DATE

DeBolt Civil Engineering
811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/837-3780
Fax: 925/837-4378
deboltcivil@earthlink.net

Date: 11/20/2013
Scale: AS SHOWN
By: JSD / JB
Job No.: 13158



Sheet C-202

GRADING and DRAINAGE PLAN

1033 DIABLO STREET

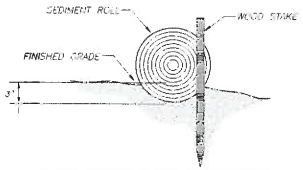
CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

JAMES E. DIGGINS R.C.E. 27818
RENEWAL DATE: 03/31/14

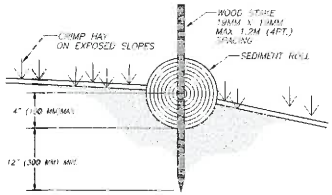
#	REVISIONS	DATE

DeBolt Civil Engineering
811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/837-3780
Fax: 925/837-4378
debolteivil@earthlink.net

Date: 11/20/2013
Scale: 1" = 5'
By: JED / al
Job No.: 13158

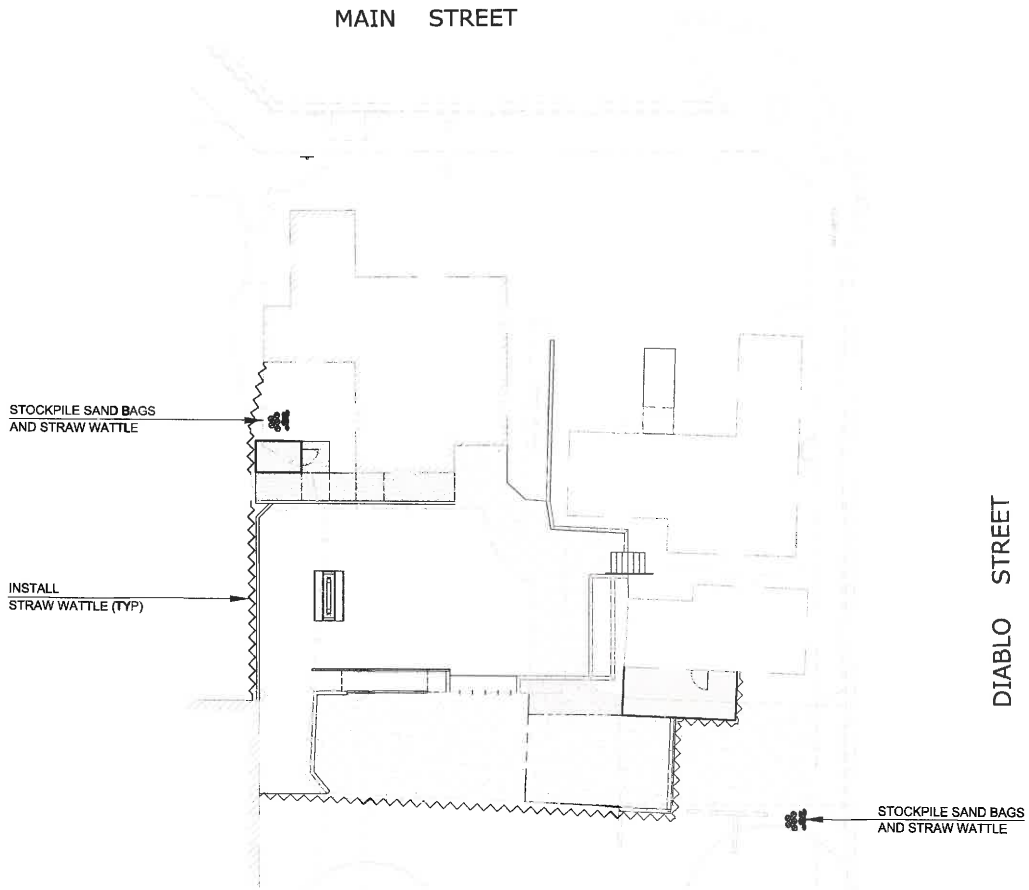


ENTRENCHMENT DETAIL IN FLAT AREAS
N.T.S.



ENTRENCHMENT DETAIL IN SLOPE AREA
N.T.S.

STRAW WATTLE DETAILS
N.T.S.



LEGEND

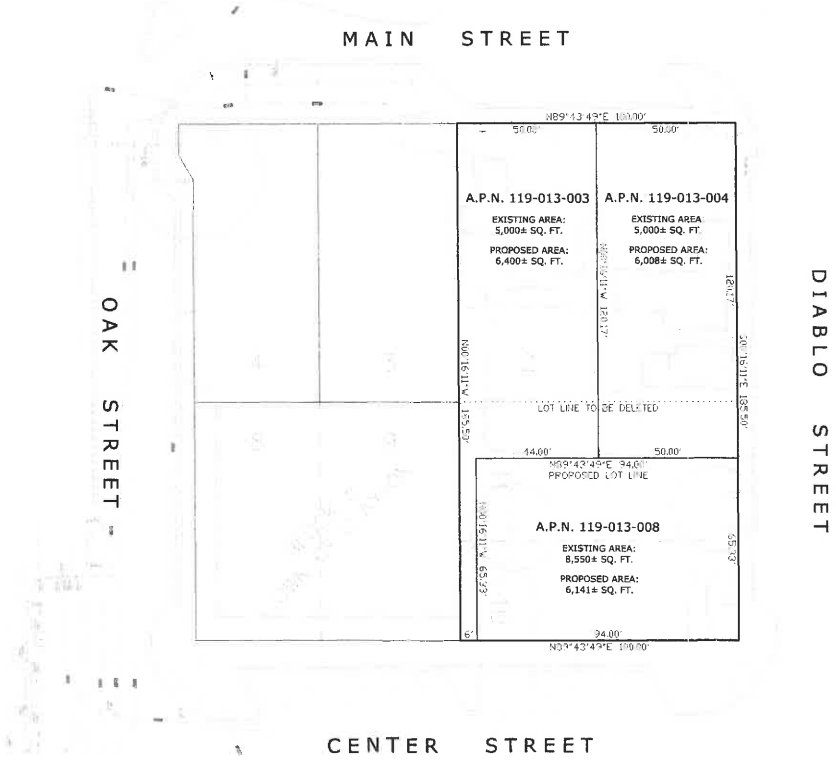
- STRAW WATTLE STOCKPILE
- STRAW WATTLE
- GRAVEL BAG STOCKPILE

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

Sheet C-203

EROSION CONTROL PLAN	1033 DIABLO STREET CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA	JAMES E. DIGGINS R.C.E. 27818 RENEWAL DATE: 03/31/14	# REVISIONS DATE	DeBolt Civil Engineering 811 San Ramon Valley Boulevard Danville, California 94526 Tel: 925/837-3780 Fax: 925/837-4378 deboltcivil@earthlink.net	Date: 11/20/2013 Scale: 1" = 10' By: JED / M Job No: 13158



A.P.N. 119-013-003

LESTER L JR. IPSEN (TE)

A.P.N. 119-013-004

LESTER L JR. IPSEN (TE)

A.P.N. 119-013-008

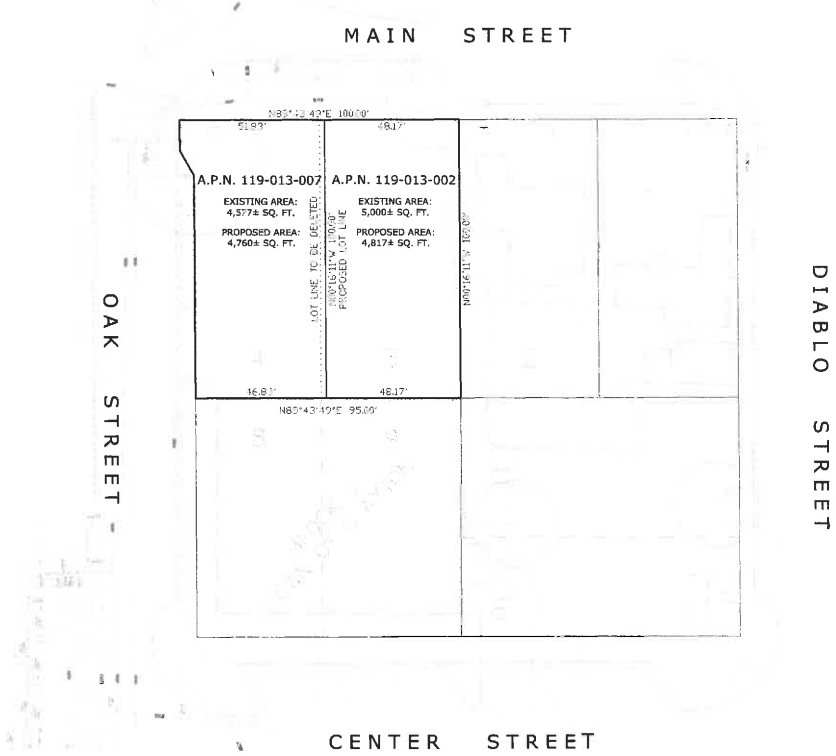
LESTER L JR. IPSEN (TE)

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

Sheet C-301

LOT LINE ADJUSTMENT A.P.N. 119-013-003, -004 & -008	6000 MAIN STREET CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA	JAMES E. DIGGINS R.C.E. 27818 RENEWAL DATE: 03/31/14	# REVISIONS DATE	DeBolt Civil Engineering 811 San Ramon Valley Boulevard Danville, California 94526 Tel: 925/837-3780 Fax: 925/837-4378 deboltcivil@earthlink.net	Date: 1/2/2014 Scale: 1" = 20' By: JGD / jd Job No.: 13158



A.P.N. 119-013-002

LESTER L JR. IPSEN (TE)

A.P.N. 119-013-007

LESTER L JR. IPSEN (TE)

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

Sheet C-302

LOT LINE ADJUSTMENT A.P.N. 119-013-002 & -007	6000 MAIN STREET CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA	JAMES E. DIGGINS R.C.E. 27818 RENEWAL DATE: 03/31/14	# REVISIONS DATE	DeBolt Civil Engineering 811 San Ramon Valley Boulevard Danville, California 94526 Tel: 925/837-3780 Fax: 925/837-4378 deboltcivil@earthlink.net	Date: 1/3/2014 Scale: 1" = 20' By: JED / JM Job No.: 13158

6. OLD BUSINESS

None.

7. NEW BUSINESS

None.

8. COMMUNICATIONS (View Here)

8.a. Staff.
8.b. Commission.

9. ADJOURNMENT

9.a. The next regularly-scheduled meeting of the Planning Commission will be held on **Tuesday, January 28, 2014 at 7:00 p.m**.

Most Planning Commission decisions are appealable to the City Council within ten (10) calendar days of the decision. Please contact Community Development Department staff for further information immediately following the decision. If the decision is appealed, the City Council will hold a public hearing and make a final decision. If you challenge a final decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing(s), either in oral testimony at the hearing(s) or in written correspondence delivered to the Community Development Department at or prior to the public hearing(s). Further, any court challenge must be made within 90 days of the final decision on the noticed matter. If you have a physical impairment that requires special accommodations to participate, please contact the Community Development Department at least 72 hours in advance of the meeting at 925-673-7340. An affirmative vote of the Planning Commission is required for approval. A tie vote (e.g., 2-2) is considered a denial. Therefore, applicants may wish to request a continuance to a later Commission meeting if only four Planning Commissioners are present.

Any writing or documents provided to the majority of the Planning Commission after distribution of the agenda packet regarding any item on this agenda will be made available for public inspection in the Community Development Department located at 6000 Heritage Trail during normal business hours.

Plng Comm\Agendas\2014\0114